SITE PLANS FOR:



PREPARED FOR:

3D DEVELOPMENT PARTNERS, LLC. 3540 WHEELER ROAD, STE 114 **AUGUSTA, GA 30909** (706) 860-9983 FAX: (706) 860-3786

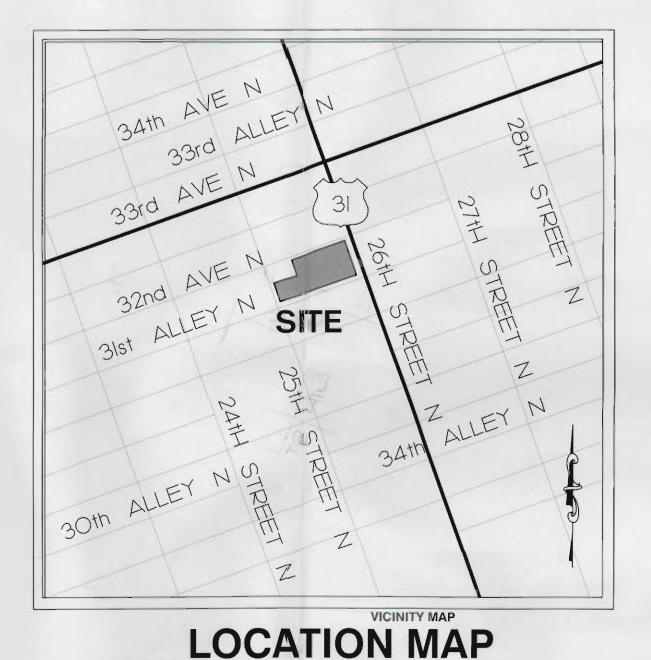
PREPARED BY:

ENGINEERING & ASSOCIATES, INC. Civil Engineering and Land Planning

31 Boland Court Greenville, SC 29615 (864) 335-4090 Fax: (864) 335-4095

STORE #615

SWC OF 32nd AVENUE N & 26th STREET N (US HWY 31) CITY OF BIRMINGHAM, AL 35207 **JEFFERSON COUNTY**



N.T.S.

TELEPHONE:

2101 6TH AVENUE

ALABAMA POWER

1212 6TH AVE N.

(205) 226-17091

FAX: (205) 226-II99

(205) 968-5518

POWER:

BIRMINGHAM, AL 352013

CONTACT: ANDREW BUIL

BIRMINGHAM, AL 352013

CONTACT: JODY CLAY

TSTA

SHEET INDEX

- **COVER SHEET**
- ALTA/ACSM LAND TITLE SURVEY (1 OF 2)
- ALTA/ACSM LAND TITLE SURVEY (2 OF 2)
- **DEMOLITION PLAN** C-3.0
- SITE AND DIMENSIONING PLAN
- C-4.1 SITE DETAILS
- C-4.2 SITE DETAILS
- C-4.3 SITE DETAILS
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CONSULTANTS:

DEVELOPER:

3D DEVELOPMENT PARTNERS, LLC. 3540 WHEELER ROAD, STE 114 AUGUSTA, GA 30909 (706) 860-9983 FAX: (706) 860-3786 CONTACT: CHARLES DUNSTAN

ARCHITECT:

ESD ARCHITECTURE 1300 SOUTH MAIN STREET SUITE 300 CHARLOTTE, NC 28203 (704) 373-1900 FAX: (704) 373-0902

GEOTECHNICAL ENGINEER:

TERRACON CONSULTANTS, INC. 110 12TH STREET NORTH BIRMINGHAM, AL 35203 PHONE: (205) 942-1289 FAX: (205 443-5302

GOVERNMENT/UTILITY OFFICIALS:

PLANNING, ENGINEERING, PERMITS.

BIRMINGHAM TRAFFIC ENGINEERING 710 NORTH 20TH STREET ROOM 210 BIRMINGHAM, AL, 35203 CONTACT: CAROLYN CLIFTON (205) 254-2344

ROAD ENCROACHMENT:

BIRMINGHAM TRAFFIC ENGINEERING 710 NORTH 20TH STREET 7TH FLOOR BIRMINGHAM, AL, 35203 CONTACT: ZEKE WILLIS (205) 254-2739

NPDES COVERAGE:

1400 COLISEUM BLVD. MONTGOMERY, AL 36110 CONTACT: HEATHER GRIFFIN (334) 394-4321

STORMWATER:

BIRMINGHAM STORMWATER ADMINISTRATOR 710 NORTH 20TH STREET BIRMINGHAM, AL, 35203 CONTACT: THOMAS MILLER (205) 714-8644

BUILDING DEPARTMENT:

BIRMINGHAM BUILDING DEPT. 710 NORTH 20TH STREET ROOM 210 BIRMINGHAM, AL, 35203 CONTACT: RICHARD BROOME (205) 254-2211

ZONING DEPT.:

BIRMINGHAM PLANNING & ZONING 710 NORTH 20TH STREET ROOM 210 BIRMINGHAM, AL, 35203 CONTACT: PAMELA PERRY (205) 254-2336

WATER DEPT.:

BIRMINGHAM WATERWORKS 3600 IST AVENUE N. BIRMINGHAM, AL 35283 CONTACT: JANICE ACOFF (205) 244-4265

SEWER DEPT.:

JEFFERSON COUNTY SEWER 716 RICHARD ARRINGTON JR. BLVD ROOM 800 BIRMINGHAM, AL 35203 CONTACT: ANDY ALLEN (205) 325-5231 FAX: (205) 325-5981

LAND USE CHART

ZONING: B-3

PROPERTY SIZE: ±1.2 AC.

PARCEL(S) #22-00-14-4-033-001.00, -002.00, -003.00, -004.00, -005.00, -007.00 &

CURRENT STREET ADDRESS(S): 3125 & 3123 25TH STREET N 2505, 2513, 2515, 2521 32ND STREET N 3120 26TH STREET N

JURISDICTION: CITY OF BIRMINGHAM

SETBACKS: FRONT = NONE SIDE = NONE REAR = NONE

PARKING REQUIREMENTS: SPACES REQUIRED = HALF THE REQUIREMENTS OF ARTICLE 5 WHICH EQUALS I SPACE PER 250 SF WHICH YIELDS A REQUIREMENT OF SPACES 37 SPACES / 2 = 19 SPACES REQUIRED SPACED PROVIDED = 26 HANDICAP SPACES REQUIRED = HANDICAP SPACES PROVIDED = 2 VAN ACCESSIBLE SPACES REQUIRED = 1

TOTAL FD BUILDING PROTO: ±9,180 SF

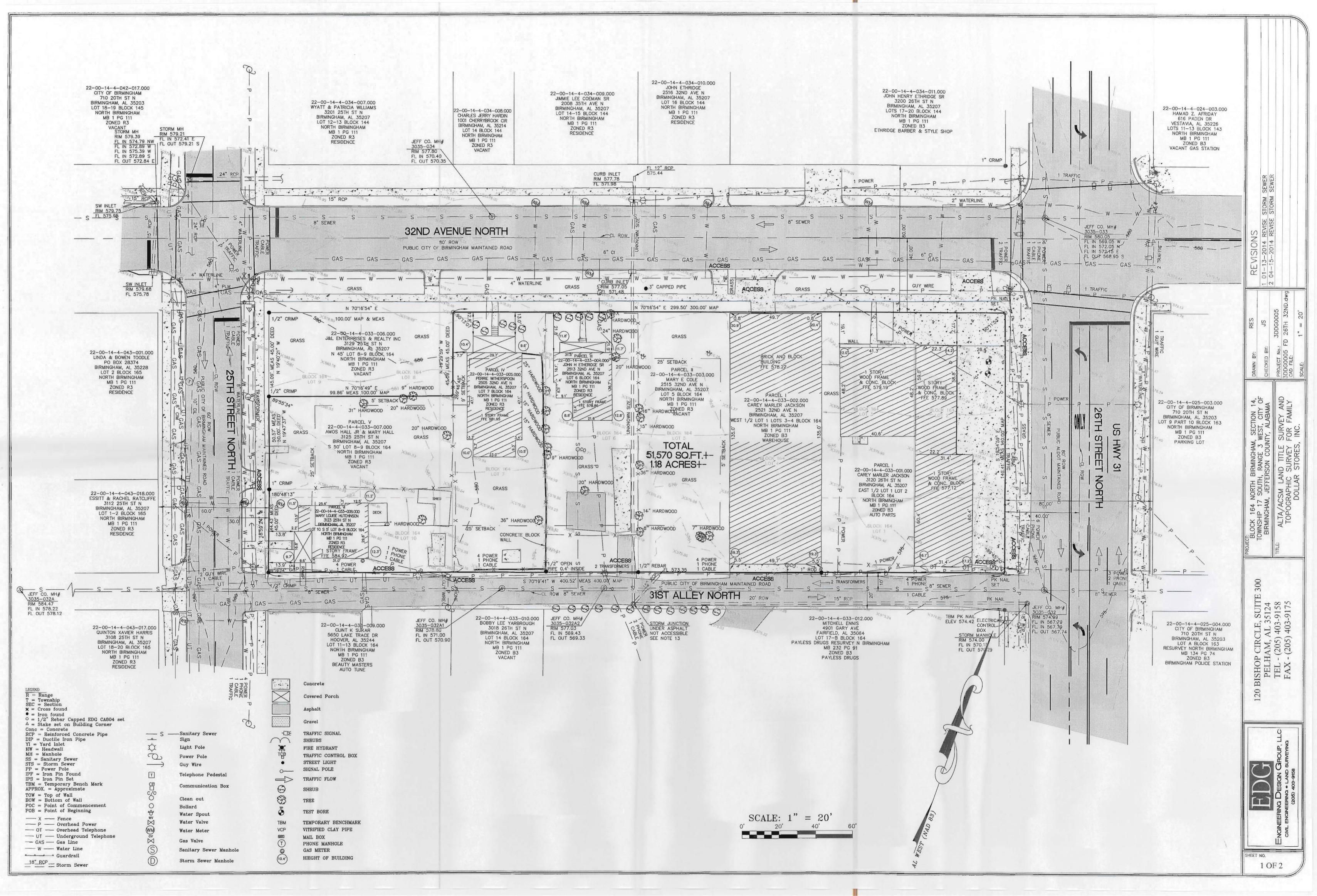
VAN ACCESSIBLE SPACES PROVIDED = 1

REVISIONS:

2

04/16/14 ISSUED FOR REVIEW

NO. DATE DESCRIPTION



FIRST AMERICAN TITLE INSURANCE COMPANY AGENT'S FILE NO: S13-3458 DATED OCTOBER 29, 2013.

SCHEDULE A

Lots 1, 2, 3 and 4, Block 164, according to the Survey of North Birmingham, as recorded in Map Book 1, Page 111, in the Office of the Probate Judge of Jefferson County, Alabama.

Lot 5, Block 164, according to the Survey of North Birmingham, as recorded in Map Book 1, Page 111, in the Office of the Probate Judge of Jefferson County, Alabama.

Lot 6, Block 154, according to the Survey of North Birmingham, as recorded in Map Book 1, Page 111, in the Office of the Probate Judge of Jefferson County, Alabama.

Lot 7, Block 164, according to the Survey of North Birmingham, as recorded in Map Book 1, Page 111, in the Office of the Probate Judge of Jefferson County, Alabama.

A part of Lots 8 and 9, Block 164, according to the Survey of North Birmingham, as recorded in Map Book 1, Page 111, in the Office of the Probate Judge of Jefferson County, Alabama, more particularly described as follows: Begin at a point 45 feet southeastward from the southeast intersection of 32nd Avenue and 25th Street North, run thence in a southeasterly direction along the east line of 25th Street 50 feet; thence in an easterly direction and parallel to 32nd Avenue 100 feet; run thence in a northerly direction and parallel to 25th Street 50 feet; run thence in a westerly direction and parallel to 32nd Avenue 100 feet to the point of beginning.

Lot 10, and the South 5 feet of Lots 8 and 9, Block 164, according to the Survey of North Birmingham, as recorded in Map Book 1, Page 111, in the Office of the Probate Judge of Jefferson County, Alabama.

NOTE: The property described and shown hereon is the same property as described in the First American Title Insurance Company commitment number S13-3458 dated October 29, 2013.

To 3D Development Partners LLC., Family Dollar Stores Inc., Family Dollar Stores of Alabama Inc., Estate of Robert C. Gafford, Mary E. Cole, John H. Etheridge, Sr., Ernest Witherspoon, Amos Hall, Jr. and Mary Hall, City of Birmingham, Mary Louise Hutchinson, and First American Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1-5, 6(b), 8, 9, 11(b), 13, 14, 16-19, 20(a) and 20(b) of Table A thereof. The field work was completed on December 3, 2013.

No. 23661

PROFESSIONAL

I hereby certify that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information, and belief.

Surveyor's Signature: __ Alabama License Number 23661, Date: April

Bearings are based on State Plane Grid (NAD 83 ALABAMA WEST).

- All Elevations shown on this map are based on USGS datum (NAVD 88) (USGS AL30). Utilities shown on this map are from visible evidence on the surface of the ground, markings by line locaters, and available
- The surveyor is not responsible for underground utilities that have no ground surface visibility.
- Error of Closure: 1: 19,000+.
- Survey not valid without original signature.
- Date of Field Survey December 03, 2013. Subject property is not located in a 100 year floodplain, as shown on Flood Insurance Rate Map No. 01073C0387G, effective
- date September 29, 2006. Surveyor: Jae Schifano email address is schifano@edgalabama.com
- 10. No observed evidence of (i) earthmoving work, building construction or building additions; (ii) site use as a solid waste
- dump, sump or sanitary landfill; (iii) recent street or sidewalk construction or repairs
- 11. There are no known right of way or roadway changes. 12. No evidence of potential wetlands were observed on the subject property at the time the survey was conducted, nor have we received any documentation of any wetlands being located on the subject property. A Land Surveyor is not qualified to directly certify as to the existence or non-existence of wetlands.
- 13. The location of the noted storm structure is approximated from estimations based on field observations and from information obtained from the City of Birmingham. This structure is not visible and was not recovered in the course of the survey.

Encroachments Statement:

Overhead power lines encroach onto the property acros the Southwest corner, the Northeast corner and the Southeast corner of the subject property.

Storm sewer ecroaches across the middle of the subject parcel between lots 5 & 6.

B3 (COMMUNITY BUSINESS DISTRICT) GENERAL MERCHANDISE IN EXCESS OF 3500 SF IS PERMITTED BASED ON APPROVED COMMERCIAL USE

R3 (SINGLE FAMILY DISTRICT) GENERAL MERCHANDISE IS NOT PERMITTED. REQUIRE REZONING. PARCELS II, III, IV, V, & VI JURISDICTION: CITY OF BIRMINGHAM ZONE B3 SOURCE OF INFORMATION: ZONING ORDINANCE ZONE R3 ADDRESS: 710 20TH STREET N ROOM 210 CITY HALL RETAIL STORE RESIDENTIAL PERMITTED USE BIRMINGHAM, ALABAMA 35203 6,000 SQ.FT MINIMUM LOT AREA PERSON CONTACTED: PAMELA S PERRY MINIMUM FRONTAGE NONE MINIMUM LOT WIDTH DATE CONDUCTED: 07/25/13 PHONE: (205) 254-2336 EMAIL ADDRESS: NONE MINIMUM OPEN SPACE MINIMUM SETBACK: NOTES: ONE SIDE 5 BOTH 14 MAXIMUM BUILDING HEIGHT: PARKING: REGULAR

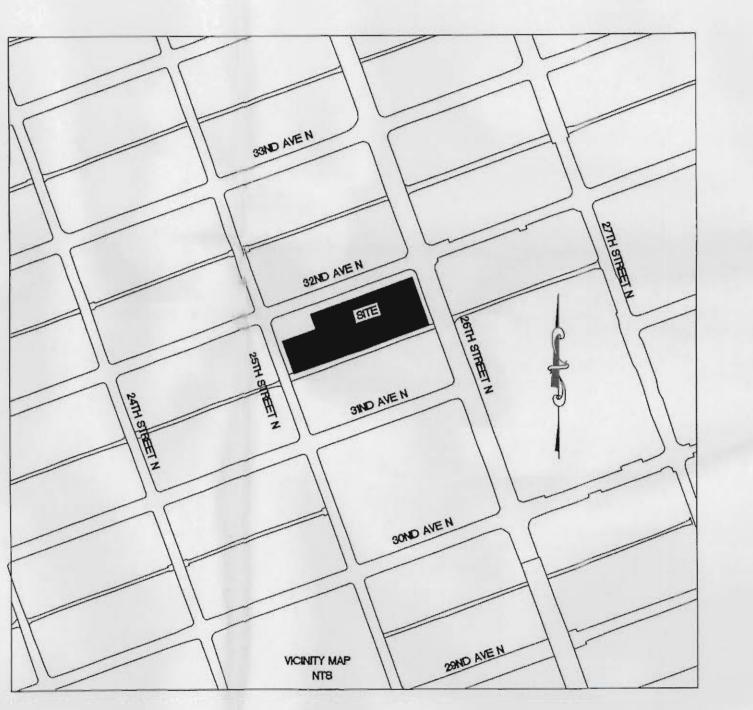
Data taken from Preliminary Site Plan Dated 7-25-13 by Campbell Engineering & Associates.

None, except where Federal Aviation Administration (FAA) Restrictions apply, in which case a waiver must be granted by the FAA to exceed FAA limitations.

SURVEYED OVERALL DESCRIPTION

A parcel of land situated in the SE 1/4 of Section 14, Township 17 South, Range 3 West, Jefferson County, Alabama, and located on Block 164 of the Survey of North Birmingham as recorded in Map Book 1 Page 111 in the Office of the Judge of Probate in Jefferson County, Alabama, being more particularly described as follows:

BEGIN at a PK nail at the NE corner of Lot 2 Block 164 of the Survey of North Birmingham as recorded in Map Book 1 Page 111 in the Office of the Judge of Probate in Jefferson County, Alabama; thence S 19"54'59" E along the eastern line of Lot 2, Lot 1, and the western right-of-way of 26th Street North (U.S. Hwy. 31), a distance of 140.11 feet to a PK nail at the SE corner of Lat 1 and the northern right-of-way of 31st Alley North; thence S 70"19'41" W along the northern right-of-way of 31st Alley North and the southern line of Lots 1, 4, 5, 6, 7, 10, leaving 26th Street North right-of-way, a distance of 400.52 feet to a ½" crimp at the SW corner of Lot 10, and the eastern right-of-way of 25th Street North; thence N 18°59'24" W along the western line of Lot 10 and along the eastern right-of-way of 25th Street North, leaving the northern right-of-way of 31st Alley North, a distance of 44.43 feet to a 1" crimp at the SW corner of Lot 9; thence N 19°47'37" W along the western line of Lot 9 and along said right-of-way a distance of 50.57 feet to a 1/2" crimp; thence N 70°16'49" E, leaving said right-of-way, a distance of 99.86 feet to a rebar capped EDG on the western line of Lot 7; thence N 19°29'59" W along the western line of Lot 7 to a rebar capped EDG at the NW corner of Lot 7, said point lying on the southern right-of-way of 32nd Avenue North; thence N 70"16'54" E along the northern line of Lots 7, 6, 5, 4, 3 and 2 and along said right-of-way a distance of 299.50 feet to the POINT OF BEGINNING. Said parcel contains 51,570 sq.ft. or 1.18 acres, more or less.



SURVEYORS COMMENTS ON EXCEPTIONS TO TITLE AS LISTED IN SCHEDULE B SECTION II OF FIRST AMERICAN TITLE INSURANCE COMPANY AGENT'S FILE NO: \$13-3458 DATED OCTOBER 29, 2013.

- 1. N/A
- 2. N/A
- 3. N/A
- 4. Any encroachment, encumbrance, violation, variation, or adverse circumstances affecting the Title that would be disclosed by an accurate and complete survey of the Land. Survey Shown.
- 4. N/A
- 5. N/A
- 6. N/A
- 7. Easements and building lines as shown on recorded map(s), including but not limited to any notes, conditions, and restrictions. Shown on survey.

T = Township SEC = Section x = Cross found • = Iron found • = 1/2" Rebar Capped EDG CA804 set Δ = Stake set on Building Corner ION 14, CITY OF ABAMA Conc = Concrete RCP = Reinforced Concrete Pipe DIP = Ductile Iron Pipe YI = Yard Inlet HW = Headwall MH = Manhole SS = Sanitary Sewer STS = Storm Sewer PP = Power Pole IPF = Iron Pin Found IPS = Iron Pin Set TBM = Temporary Bench Mark APPROX. = Approximate TOW = Top of Wall BOW = Bottom of Wall POC = Point of Commencement POB = Point of Beginning - X - Fence - P - Overhead Power - OT - Overhead Telephone - UT - Underground Telephone - GAS - Gas Line - W - Water Line Guardrail __18"_RCP __ Storm Sewer - S - Sanitary Sewer Sign Light Pole Power Pole Guy Wire

0

0

Telephone Pedestal

Communication Box

Sanitary Sewer Manhole

Storm Sewer Manhole

Clean out Bollard Water Spout Water Valve Water Meter Gas Valve

Concrete

Asphalt

Gravel

SHRUBS

SHRUB

TREE

MAIL BOX

GAS METER

PHONE MANHOLE

HIEGHT OF BUILDING

-[]>

0-

=>

9

83

VCP

Covered Porch

SION -2014 1

-01

UTILITY CONTACTS

SEWER: JEFFERSON COUNTY ENVIRONMENTAL SERVICES 716 RICHARD ARRINGTON, JR. BLVD. N., SUITE A-300 BIRMINGHAM, AL 35203 TELEPHONE: (205) 325-1445 FAX: (205) 325-5981 CONTACT: WOODY ASKEW

WATER: BIRMINGHAM WATER WORKS BOARD P.O. BOX 830110 3600 FIRST AVENUE NORTH BIRMINGHAM, AL 35283 TELEPHONE: (205) 244-4000 CONTACT: STACY JOHNSON

TELEPHONE: AT&T 2101 6TH AVENUE BIRMINGHAM, AL 35203 TELEPHONE: (205) 968-5582 CONTACT: MICHAEL ROSS

POWER: ALABAMA POWER COMPANY 1200 6TH AVE N BIRMINGHAM, ALABAMA 35203 TELEPHONE: (205) 226-1181 CONTACT: EMILY BREASCALE

ALDOT CONTACT 3RD DIVISION DISTRICT 1 JAMERIA MOORE 205-581-5704 1020 BANKHEAD HIGHWAY BIRMINGHAM AL 35202

TRAFFIC SIGNAL FIRE HYDRANT TRAFFIC CONTROL BOX STREET LIGHT SIGNAL POLE TRAFFIC FLOW TEST BORE TEMPORARY BENCHMARK VITRIFIED CLAY PIPE

> SHEET NO. 2 OF 2

BISHOP (PELHATEL - (FAX - (

20

DEMOLITION NOTES:

I. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER GEOTECHNICAL RECOMMENDATIONS.

2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND

3. THE CONTRACTOR SHALL COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.

4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES.

5. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING.

16. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD RIGHT OF WAY DURING CONSTRUCTION.

7. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., TO THE BEST PRACTICES. 8. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE

INSTALLED.

9. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE FENCING, LIGHTING AND/OR STORM INLET STRUCTURES, THEN THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/STRUCTURES. EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW. 10. CONTRACTOR MAY LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IT'S REMOVAL AND REPAIR. II. THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPT. AND THE CITY/COUNTY UTILITY DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS

AND TO ENSURE ADEQUATE FIRE PROTECTION IS AVAILABLE TO THE SITE THROUGH OUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION, CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFF WITH THE CITY/COUNTY DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFF WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE

12. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.

13. RELOCATE/REMOVE EXISTING SIGNAGE AND UTILITIES AS NECESSARY TO ACCOMMODATE NEW SIGNAGE.

NOTE TO GENERAL CONTRACTOR:

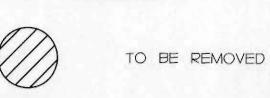
COORDINATE ALL DEMOLITION OPERATIONS WITH EROSION AND SEDIMENTATION CONTROL PLANS. SEE SEQUENCE OF CONSTRUCTION BEFORE ANY DEMOLITION CAN TAKE PLACE.

CONTRACTOR TO FOLLOW ALL TRAFFIC CONTROL REQUIREMENTS CONTAINED IN THE 2009 EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND DOT SPECIFICATIONS WHILE WORKING WITH THE PUBLIC RIGHT OF WAY

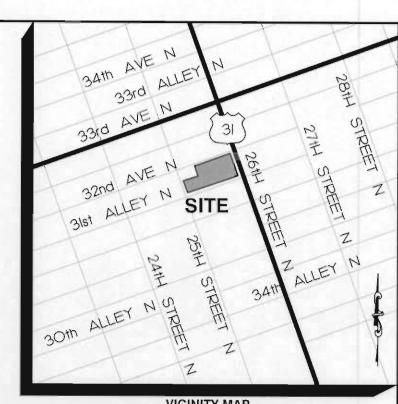
CONTRACTOR TO COORDINATE WITH JEFFERSON COUNTY SEWER TO OBTAIN A SEWER PLUG PERMIT. A DEMOLITION PERMIT CANNOT BE OBTAINED UNTIL A PLUG PERMIT IS ISSUED FOR REMAINING SEWER SERVICE LATERALS. CONTRACTOR TO PROVIDE SEWER DEPT A FIXTURE COUNT OF EXISTING UNITS TO BE DEMOLISHED, IMPACT FEE WORK SHEET AND REQUIRED PLANS

CONTRACTOR TO PROTECT SEWER LATERAL DURING DEMOLITION WHICH IS PROPOSED TO BE UTILIZED FOR THE STORE. CONTRACTOR SHALL CAMERA SEWER LATERAL FROM NEW CONNECTION POINT TO SEWER MAIN AND PROVIDE INFORMATION TO SEWER DEPARTMENT TO CONFIRM LATERAL CAN BE USED. IF IT'S DETERMINED LATERAL CANNOT BE USED, NOTIFY ENGINEER IMMEDIATELY.

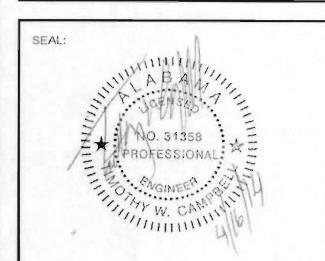
LEGEND







PLANS PREPARED BY: CAMPBELL ENGINEERING & ASSOCIATES, INC Civil Engineering and Land Planning 31 Boland Court Greenville, SC 29615 (864) 335-4090 Fax: (864) 335-4095



DEVELOPER:

3D DEVELOPMENT PARTNERS, LLC. 3540 WHEELER ROAD, STE 114 AUGUSTA, GA 30909 (706) 860-9983 FAX: (706) 860-3786

CONTACT: CHARLES DUNSTAN

		4 1	
CHECKED	BY:		TV

DRAWING BY: DATE: 04/16/14

JOB NUMBER:

REVISIONS:

DEMOLITION PLAN Call before you dig.

SHEET NUMBER:

32nd AVENUE N (60' R/W - CITY MAINTAINED)

- SAWCUT SIDEWALK SAWCUT SIDEWALK (SEE SITE PLAN) - SAWCUT (SEE SITE PLAN) - REMOVE SIDEWALK REMOVE FENCE-TO PROPERTY

- COORDINATE WITH GAS COMPANY TO UTILIZE EXISTING GAS SERVICE

-REMOVE FENCE

- REMOVE WATER SPIGOTS

-REMOVE STORM

GRADING PLAN)

-REMOVE SEWER

CONCRETE PADS

-REMOVE TREES

-REMOVE STORM //// DRAIN (SEE GRADING PLAN)

-SAWCUT TO REMOVE DRIVEWAY

DRAIN (SEE

LATERAL

-REMOVE

-REMOVE HOUSE, DECK. PORCH AND

/ WALKWAYS

(SEE SITE PLAN) - REMOVE SIDEWALK AND CONCRETE DRIVEWAY APRON

- / / / / PREMOV.
BUILDING

- SAWCUT SIDEWALK

(SEE SITE PLAN)

- REMOVE POLE AND OVERHEAD UTILITY (COORDINATE WITH AL

- SAWCUT SIDEWALK

- SAWCUT SIDEWALK (SEE SITE PLAN)

REMOVE

CONCRETE

PARKING AREA

SAWCUT EXISTING APRON AND REMOVE CONCRETE INSTALL NEW CURB AND GUTTER (SEE SITE PLAN) SAWCUT SIDEWALK

(SEE SITE PLAN)

- REMOVE CONCRETE PARKING AREA

REMAIN

REMAIN
(CONTRACTOR
TO PROTECT
EXISTING
CONDITIONS) 080

AND REMOVE CONCRETE
INSTALL NEW CURB AND
GUTTER (SEE SITE PLAN)

UTILITIES AS SHOWN

SAWCUT SIDEWALK TO REMOVE

> PAVEMENT IN AREA WHERE REMOVED IN ALLEYWAY

(CITY MAINTAINED)

LINES - AL POWER
TO RELOCATE POLE
(SEE UTILITY PLAN)

AND APRON PRIOR TO WALK AND

NORTH

DRIVEWAY REMOVAL TREE REMOVE -FENCE AND SHED

AND INSTALL LIGHT DUTY

DECK, PORCH AND WALKWAYS

REMOVE .

WALL

REMOVE -

REMOVE FENCE-TO PROPERTY

Know what's below.

SEE DETAIL SHEET C-4.3 FOR

TRAFFIC CONTROL DETAILS

SITE NOTES:

PROPERTY BOUNDARY INFORMATION SHOWN HERON IS TAKEN FROM A BOUNDARY SURVEY PREPARED FOR FAMILY DOLLAR BY ENGINEERING DESIGN GROUP, LLC. LAST REVISED APRIL 15, 2014, PROJECT #3DDGOOO5. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.

CONTRACTOR SHALL MATCH PROPOSED CURB AND GUTTER, CONCRETE, AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT.

3. CONTRACTOR SHALL REMOVE PAVEMENT & CONCRETE IN ACCORDANCE WITH SPECIFICATIONS OF ALL GOVERNING AGENCIES.

4. GENERAL CONTRACTOR IS TO COORDINATE WITH APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTIONS, ADJUSTMENT, OR RELOCATION OF EXISTING UTILITIES AS DESIGNATED ON PLANS. 5. CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN, EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION

6. CONTRACTOR TO REMOVE OR RELOCATE, WHEN APPLICABLE, ALL EXISTING DRAIN PIPES, SANITARY SEWER PIPES, POWER POLES, AND GUY WIRES, WATER METERS AND WATER LINES, WELL, SIDEWALKS, SIGN POLES, UNDERGROUND GAS, AND ASPHALT, SHOWN AND NOT SHOWN, WITHIN CONSTRUCTION LIMITS AND WHERE NEEDED, TO ALLOW FOR NEW CONSTRUCTION AS SHOWN.

7. CONTRACTOR SHALL FOLLOW ALL LOCAL, STATE, AND FEDERAL REGULATIONS IN DISPOSING OF DEMOLISHED MATERIALS REMOVED FROM THIS SITE.

8. DIMENSIONS SHOWN ARE TO FACE OF CURB, FACE OF BUILDING, OR CENTERLINE OF PARKING BAY UNLESS NOTED OTHERWISE.

9. SEE SITE DETAILS SHEET FOR PAVEMENT SPECS.

10. BUILDING AND CANOPY EXCAVATION AND FOUNDATIONS, BUILDING ENTRANCE PLATFORMS, PORCHES, PADS, BUILDING DIMENSIONS, UTILITY ENTERY/EXIT POINTS, SIDEWALKS, ADJACENT TO THE BUILDING, AND LOADING DOCK RAMP/CURBS/RETAINING WALLS ARE DETAILED AND SPECIFIED ON THE ARCHITECTURAL DRAWINGS.

II. PROVIDE EXPANSION JOINTS AT ALL RADIUS POINTS IN CONCRETE CURB AND GUTTER AND AS SHOWN ON THE DETAILS, OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.

12, THE CONTRACTOR IS TO PROVIDE RECEPTACLES FOR USE OF SUBCONTRACTORS AND THEIR EMPLOYEES. ALL DUMPSTERS SHOULD BE LOCATED OFF STREETS AND RIGHT OF WAYS. BLOCKING PERMITS ARE REQUIRED FOR ANY USE OF THE STREET RIGHT OF WAYS.

13. PROVIDE CONTAINERS FOR GARBAGE AND MINOR TRASH IN EATING AREAS, IN PARKING LOTS, AND ALONG WALKWAYS.

14. SERVICE CONTAINERS ADEQUATELY.

15. KEEP STREETS AND AREAS ADJACENT TO THE JOB SITE CLEAN AND FREE OF TRASH AND MUD ORIGINATING FROM THE SITE.

16. REQUIRE ALL WASTE HAULERS TO COVER TRUCKS BEFORE LEAVING THE SITE.

OTHER PUBLIC PROPERTY. DAMAGE MUST BE REPAIRED OR REPLACED PRIOR TO FINAL INSPECTIONS.

GENERAL NOTES:

I. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD CONDITIONS WHEN POSSIBLE, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSING WELL IN ADVANCE OF TRENCHING. IF THE CLEARANCES ARE LESS THAN SPECIFIED ON THE PLANS OR 12", WHICHEVER IS LESS, CONTACT CAMPBELL ENGINEERING & ASSOCIATES, INC. AT 864-335-4090.

2. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE THE REMOVAL AND DISPOSAL OF ANY EXCESS TOPSOIL THAT IS NOT REQUIRED TO PERFORM THE FINAL GRADING AND LANDSCAPING OPERATIONS.

3. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL REQUIRED/NECESSARY SHEETING, SHORING, AND SPECIAL EXCAVATION MEASURED REQUIRED ON THE PROJECT TO MEET OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THE DRAWINGS. FAMILY DOLLAR STORES AND CAMPBELL ENGINEERING & ASSOCIATES, INC. ACCEPT NO RESPONSIBILITY FOR THE DESIGN TO INSTALL SAID ITEMS.

4. CALL BEFORE YOU DIG ALABAMA ONE-CALL 811. 5. ALL WORK SHALL CONFORM TO FEDERAL, STATE, PARISH, AND/OR LOCAL STANDARDS,

WHICHEVER IS MORE RESTRICTIVE. 6. ALL CURB/HANDICAP RAMP DESIGNS SHALL CONFORM TO ADA STANDARDS OR CITY OF BIRMINGHAM CITY STANDARDS, WHICHEVER IS MORE RESTRICTIVE.

7. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR THE EXACT LOCATION OF THE UTILITY ENTRANCE POINTS, TRANSFORMER, SLOPED PAVING, TRUCK DOCKS. RAMPS, SITE LIGHTING PANELS, EXIT PORCHES, VESTIBULE, PRECISE BUILDING

DIMENSIONS, ETC. 8. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE DAILY RECORD KEEPING OF THE AS-BUILT CONDITIONS OF ALL OF THE UNDERGROUND UTILITIES, STORM DRAIN AND CONSTRUCTION STAKEOUTS ASSOCIATED WITH THE PROJECT. THE CONTRACTOR SHALL HAVE A LICENSED SURVEYOR PREPARE THE REQUIRED AS-BUILT INFORMATION FOR SUBMITTAL TO GOVERNING AGENCIES AND ALL OTHER INFORMATION REQUIRED IN CONNECTION WITH RELEASE OF BONDS.

9. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE LOCAL POST OFFICE TO DETERMINE IF A FREE STANDING MAILBOX IS REQUIRED. IF SO REQUIRED, THE CONTRACTOR SHALL INCLUDE IN HIS CONTRACT PRICE THE INSTALLATION OF A 4" X 4" PRESSURE TREATED POST SET IN CONCRETE WITH A METAL MAILBOX AT A LOCATION ACCEPTABLE TO THE POST OFFICE AND THE OWNER.

10. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ALL MATERIAL AND LABOR ASSOCIATED WITH THE TESTING OF THE WATER AND SEWER LINES AS REQUIRED.

PERMITS, BONDS, AND INSPECTIONS:

THE CONTRACTOR SHALL BE RESPONSIBLE TO INSURE THAT ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO THE ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES. THIS SHALL INCLUDE THE HIRING OF A PROFESSIONAL ENGINEER TO CONDUCT INSPECTIONS AND PROVIDE CERTIFICATIONS, AS MAY BE REQUIRED.

AUTHORITY AND RESPONSIBILITY:

THE ENGINEER. AS REPRESENTATIVE OF THE OWNER. SHALL NOT GUARANTEE THE WORK OF ANY CONTRACTOR OR SUBCONTRACTOR, SHALL HAVE NO AUTHORITY TO STOP WORK, SHALL HAVE NO SUPERVISION OR CONTROL AS TO THE WORK OR PERSONS DOING THE WORK, SHALL NOT HAVE CHARGE OF THE WORK, SHALL NOT BE RESPONSIBLE FOR SAFETY IN, ON, OR ABOUT THE JOB SITE OR HAVE ANY CONTROL OF THE SAFETY OR ADEQUACY OF ANY EQUIPMENT, BUILDING COMPONENT, SCAFFOLDING, SUPPORTS, FORMS, OR OTHER WORK AIDS, AND SHALL HAVE NO DUTIES OR RESPONSIBILITIES IMPOSED BY THE STRUCTURAL WORK ACT.

SITE DEVELOPMENT DATA

ZONING: B-3

PROPERTY SIZE: ±1.2 AC.

PARCEL(S) #22-00-14-4-033-001.00, -002.00, 003.00, -004.00, -005.00, -007.00 & -008.00

JURISDICTION: CITY OF BIRMINGHAM

SETBACKS: FRONT = NONE SIDE = NONE REAR = NONE

CONTRACTOR TO FOLLOW ALL TRAFFIC

THE 2009 EDITION OF THE MANUAL OF

UNIFORM TRAFFIC CONTROL DEVICES

RIGHT OF WAY

CONTROL REQUIREMENTS CONTAINED IN

(MUTCD) WHILE WORKING WITH THE PUBLIC

PARKING REQUIREMENTS SPACES REQUIRED - HALF THE REQUIREMENTS OF ARTICLE 5 WHICH EQUALS I SPACE PER 250 SF WHICH YIELDS A REQUIREMENT OF SPACES 37

SPACES / 2 = 19 SPACES REQUIRED SPACED PROVIDED = 26 HANDICAP SPACES REQUIRED = 2 HANDICAP SPACES PROVIDED = 2 VAN ACCESSIBLE SPACES REQUIRED = 1 VAN ACCESSIBLE SPACES PROVIDED = I

TOTAL FD BUILDING PROTO: ±9,180 SF

LEGEND

PROPOSED

DESCRIPTION NUMBER OF SPACES

HANDICAP SYMBOL

PAINTED STOP BAR

CONCRETE HEAVY DUTY ASPHALT

PAVEMENT (SEE SITE DETAILS) LIGHT DUTY ASPHALT

DETAILS) DIRECTIONAL ARROW

PAVEMENT (SEE SITE

SITE LIGHTING (BY OTHERS)

18" CURB AND GUTTER

AVE VICINITY MAP

N.T.S.

NOTE: SEE ARCH. PLANS FOR EXACT BUILDING DIMENSIONS, UTILITY ENTRY POINTS, DOOR LOCATIONS, ETC.

ENGINEERING & ASSOCIATES, INC

PROFESSIONAL:

Civil Engineering and Land Plannin

31 Boland Cour

(864) 335-4090

Greenville, SC 2961

Fax: (864) 335-4093

S 32 32 F

DEVELOPER: 3D DEVELOPMENT PARTNERS, LLC. 3540 WHEELER ROAD, STE 114 **AUGUSTA, GA 30909** (706) 860-9983 FAX: (706) 860-3786

CONTACT: CHARLES DUNSTAN

REVISIONS:

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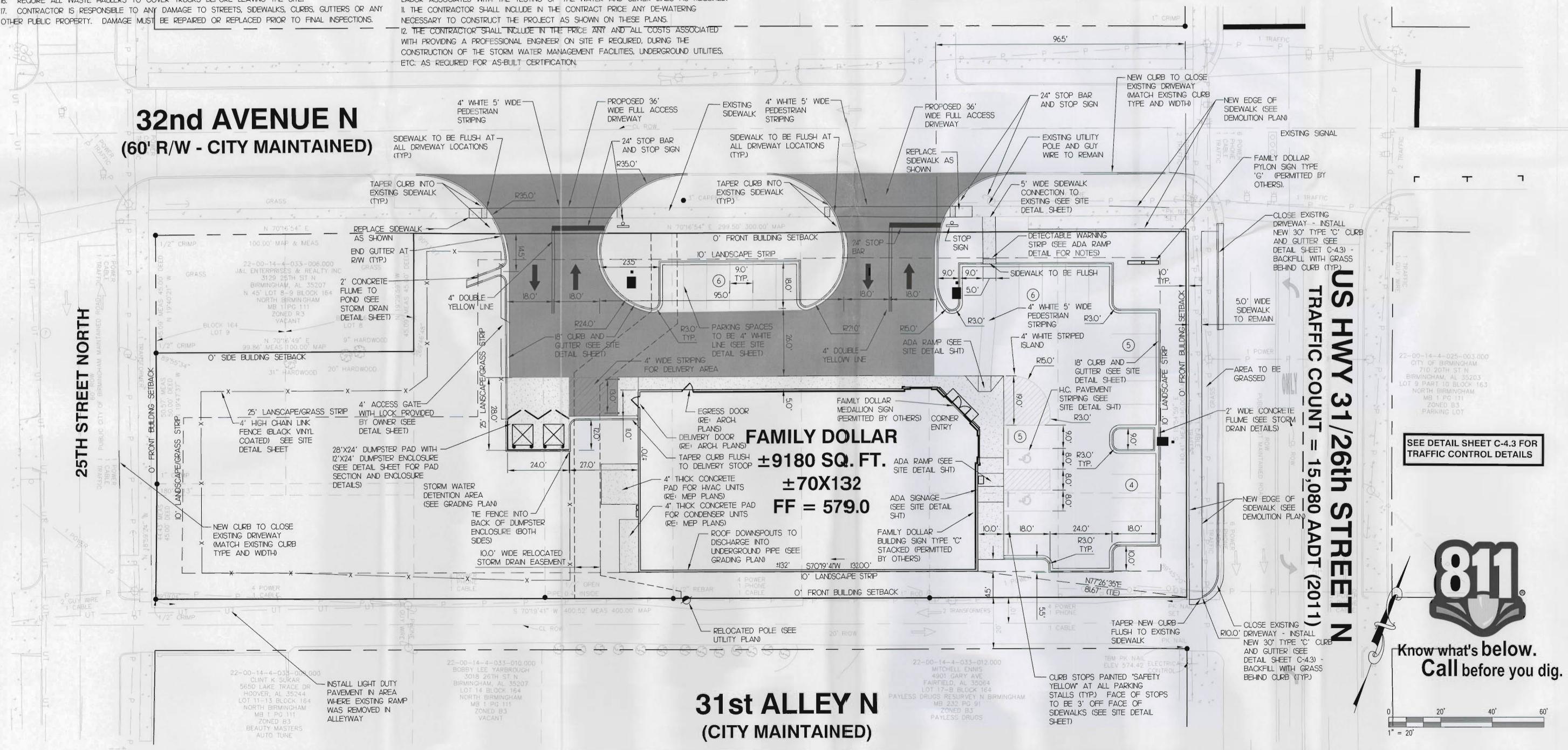
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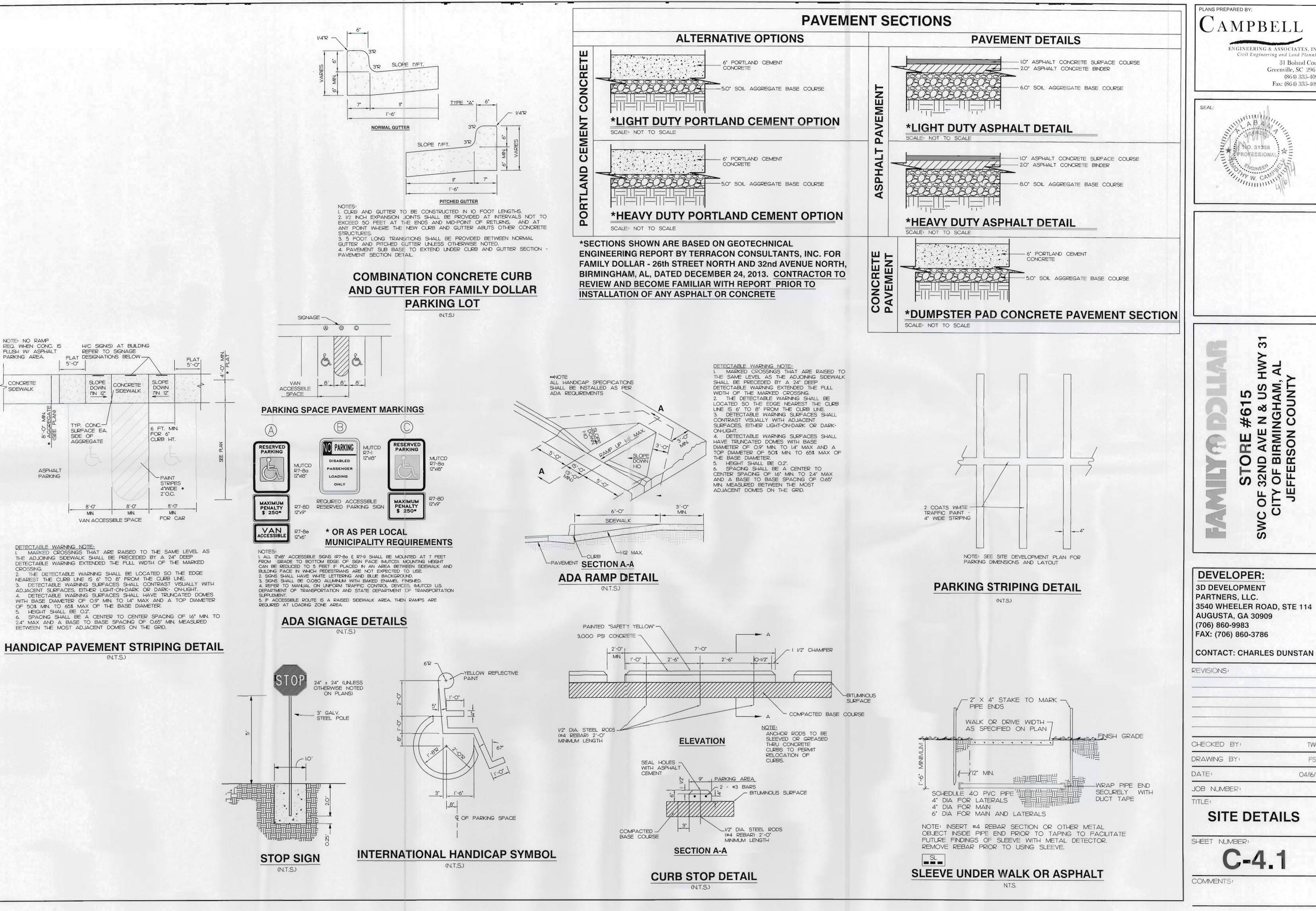
SITE AND **DIMENSIONING PLAN**

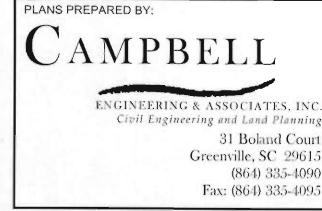
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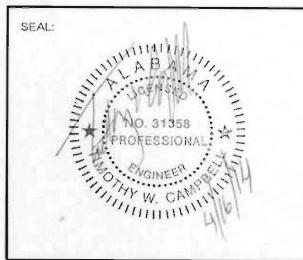
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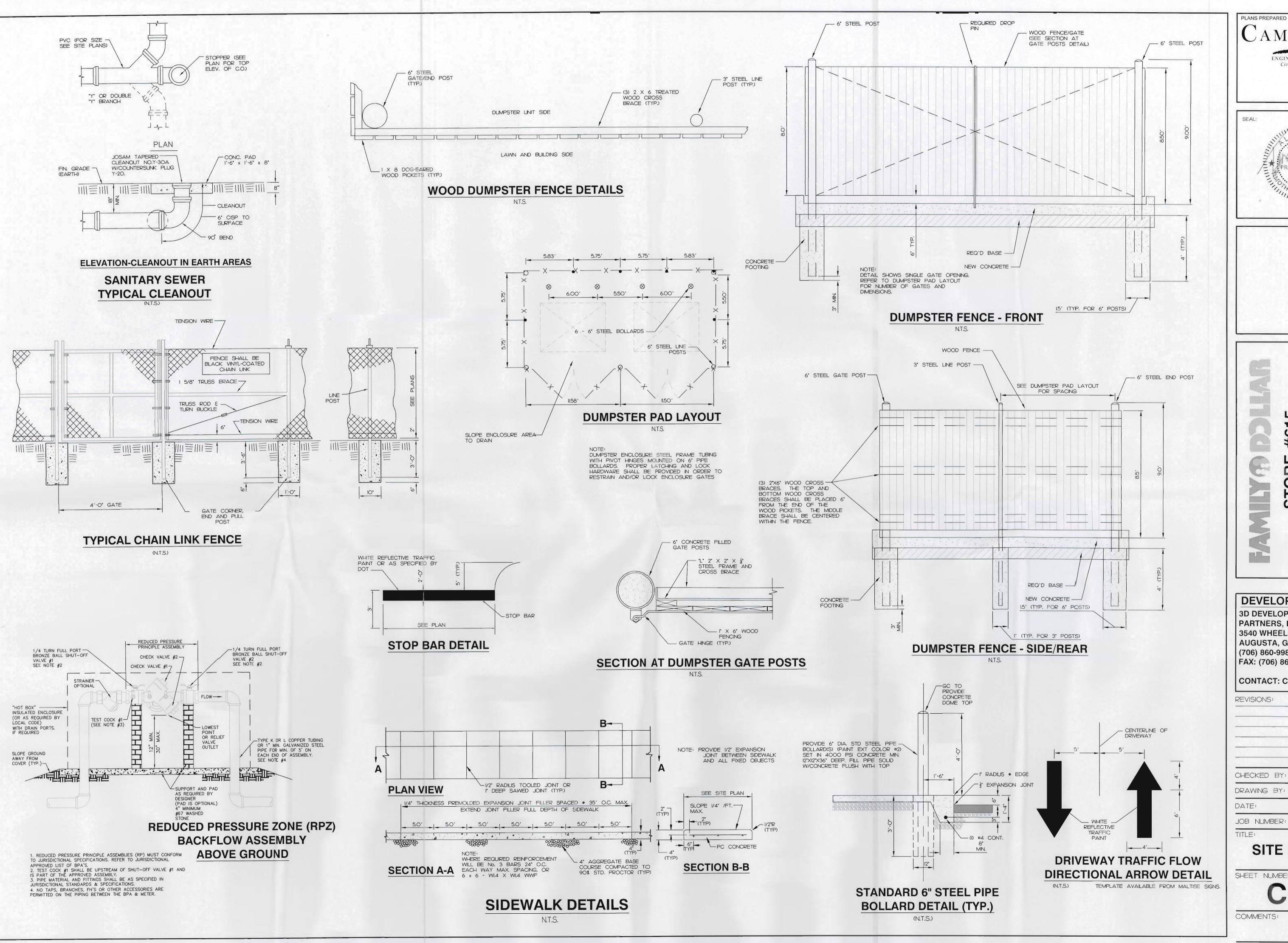
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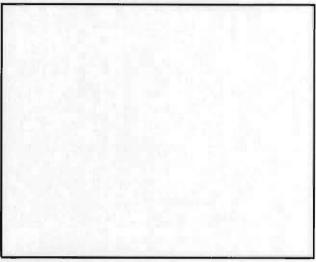
SITE DETAILS

SHEET NUMBER:



PLANS PREPARED BY: CAMPBELL ENGINEERING & ASSOCIATES, IN Civil Engineering and Land Planning 31 Boland Cour Greenville, SC 2961. (864) 335-4090 Fax: (864) 335-4095





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DEVELOPER:

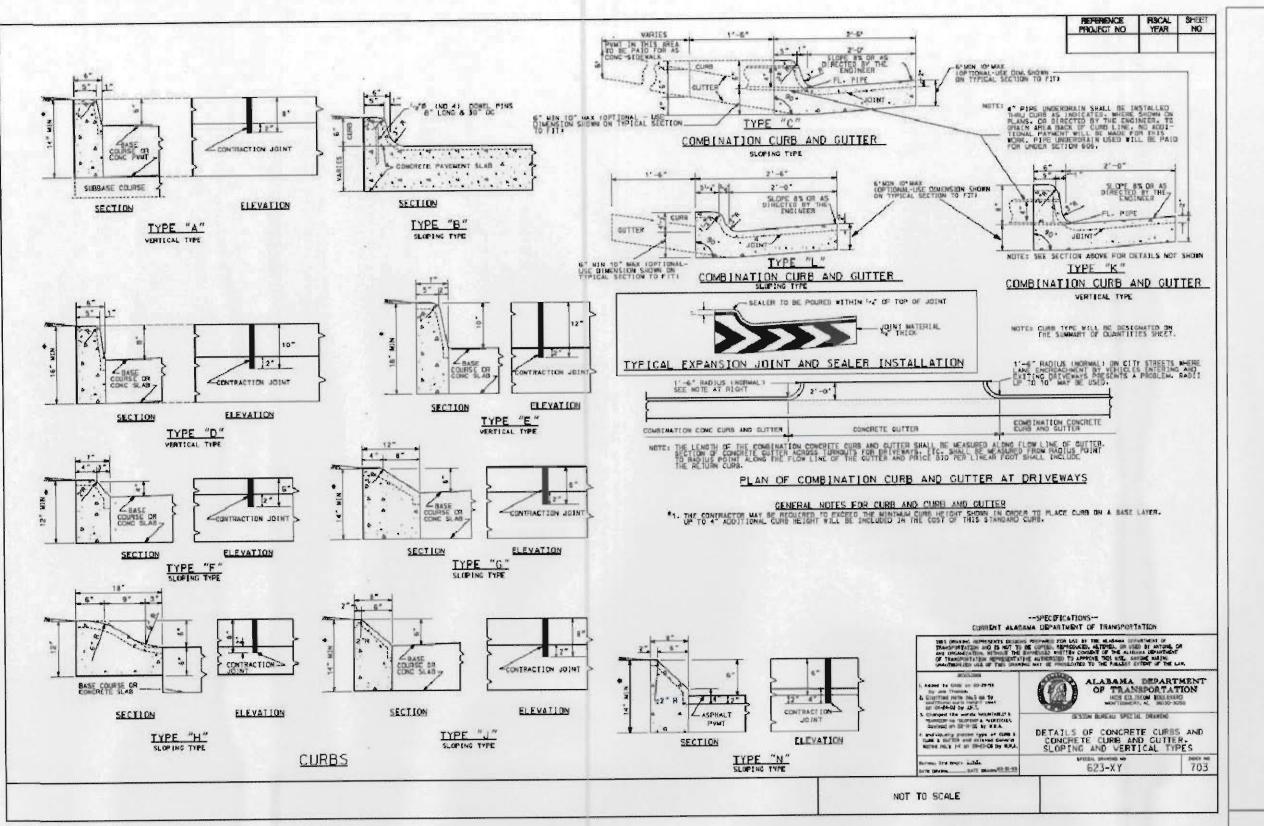
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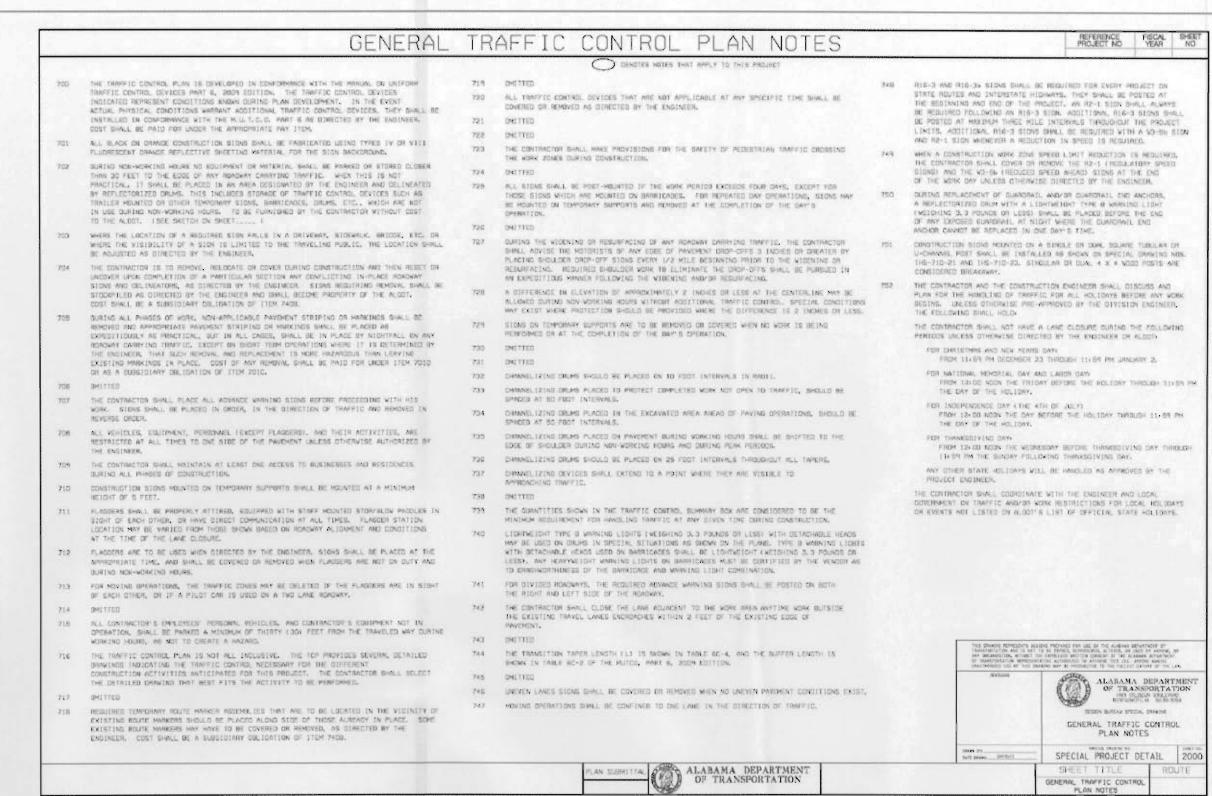
CONTACT: CHARLES DUNSTAN

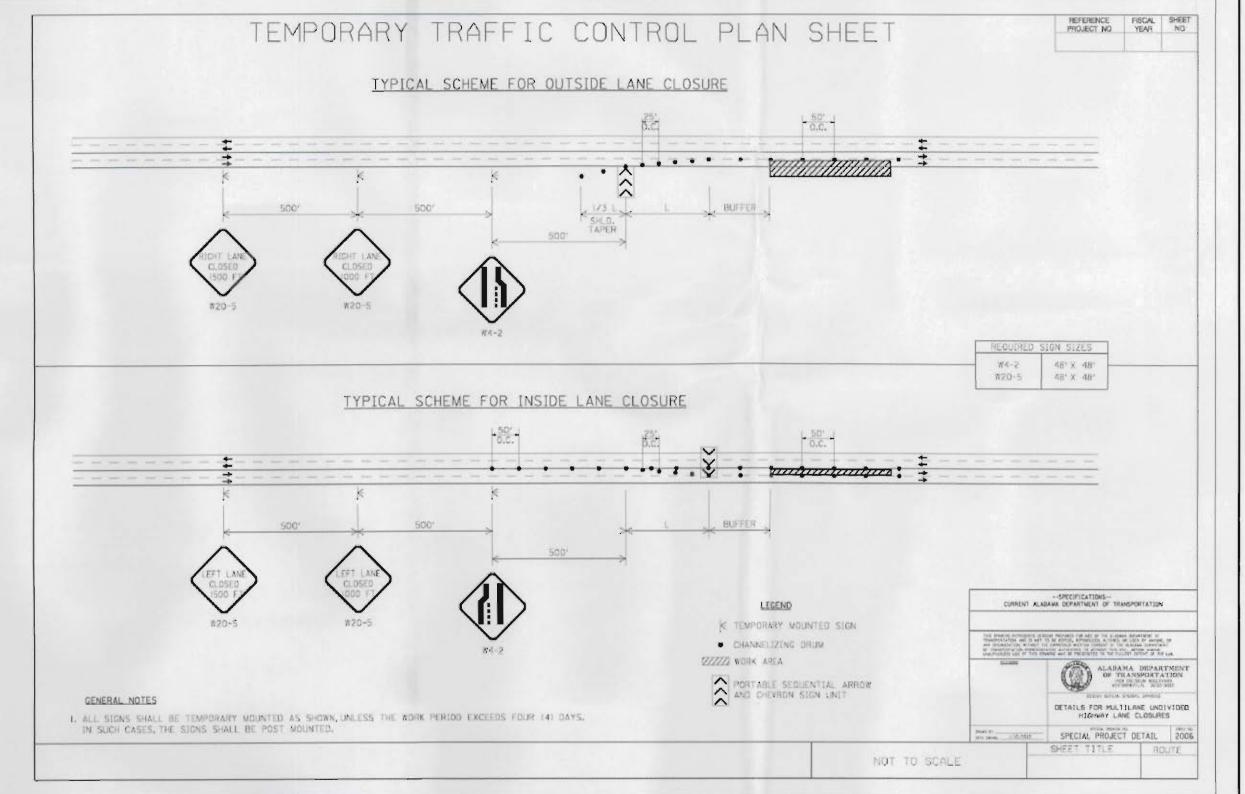
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SITE DETAILS

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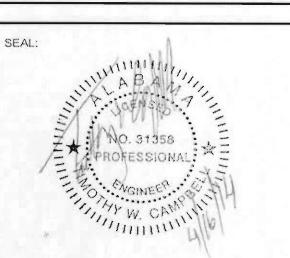


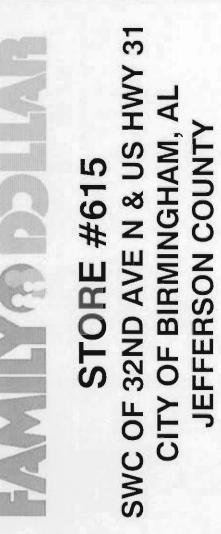




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ENGINEERING & ASSOCIATES, INC. Civil Engineering and Land Planning 31 Boland Court Greenville, SC 29615 (864) 335-4090 Fax: (864) 335-4095





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CONTACT: CHARLES DUNSTAN

REVISIONS:

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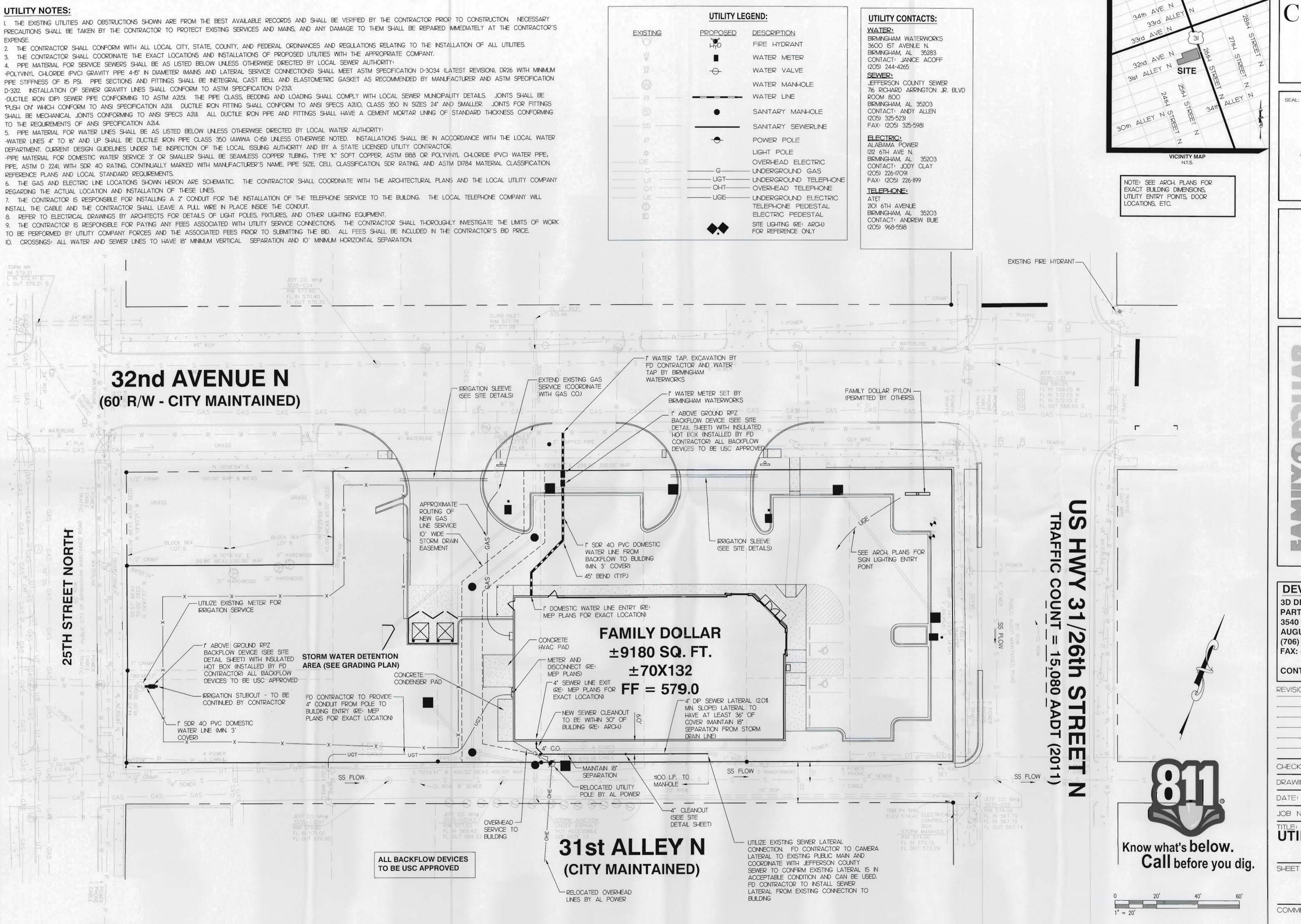
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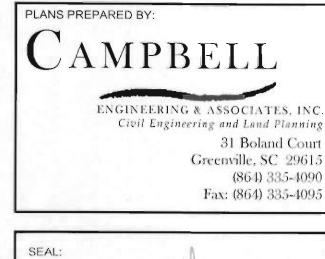
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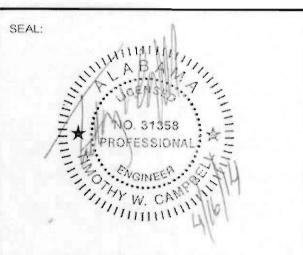
SITE DETAILS

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ST C OF 32N CITY OF JEFFE

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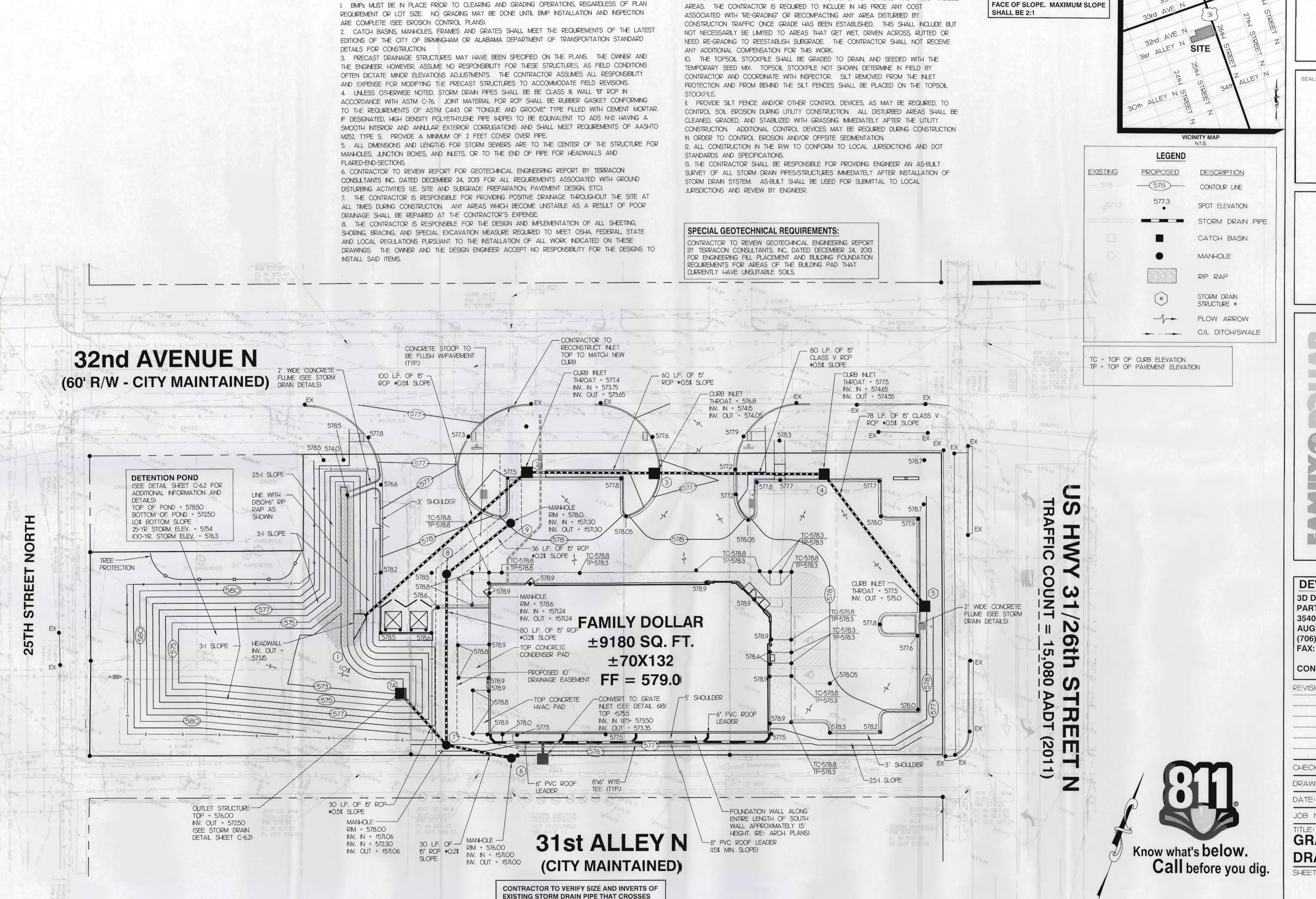
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JOB NUMBER:

UTILITY PLAN

SHEET NUMBER:

C-5.0



PROPERTY PRIOR TO INSTALLING ANY NEW STORM DRAIN STRUCTURES. CONTACT

ENGINEER IMMEDIATELY IF CONFLICT EXISTS.

GRADING NOTES:

PLANS PREPARED BY: CAMPBELL ENGINEERING & ASSOCIATES, INC Civil Engineering and Land Planning 31 Boland Court Greenville, SC 29615 (864) 335-4090

Fax: (864) 335-4095

ALL SLOPES 3:1 OR STEEPER

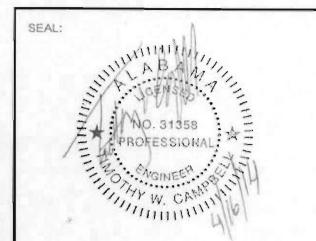
AMERICAN GREEN P300 ALONG

SHALL RECEIVE NORTH

9. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF GRADED AND PROOF ROLLED

AVE N

33rd



ST(/C OF 32NI CITY OF I

DEVELOPER:

3D DEVELOPMENT PARTNERS, LLC. 3540 WHEELER ROAD, STE 114 AUGUSTA, GA 30909 (706) 860-9983 FAX: (706) 860-3786

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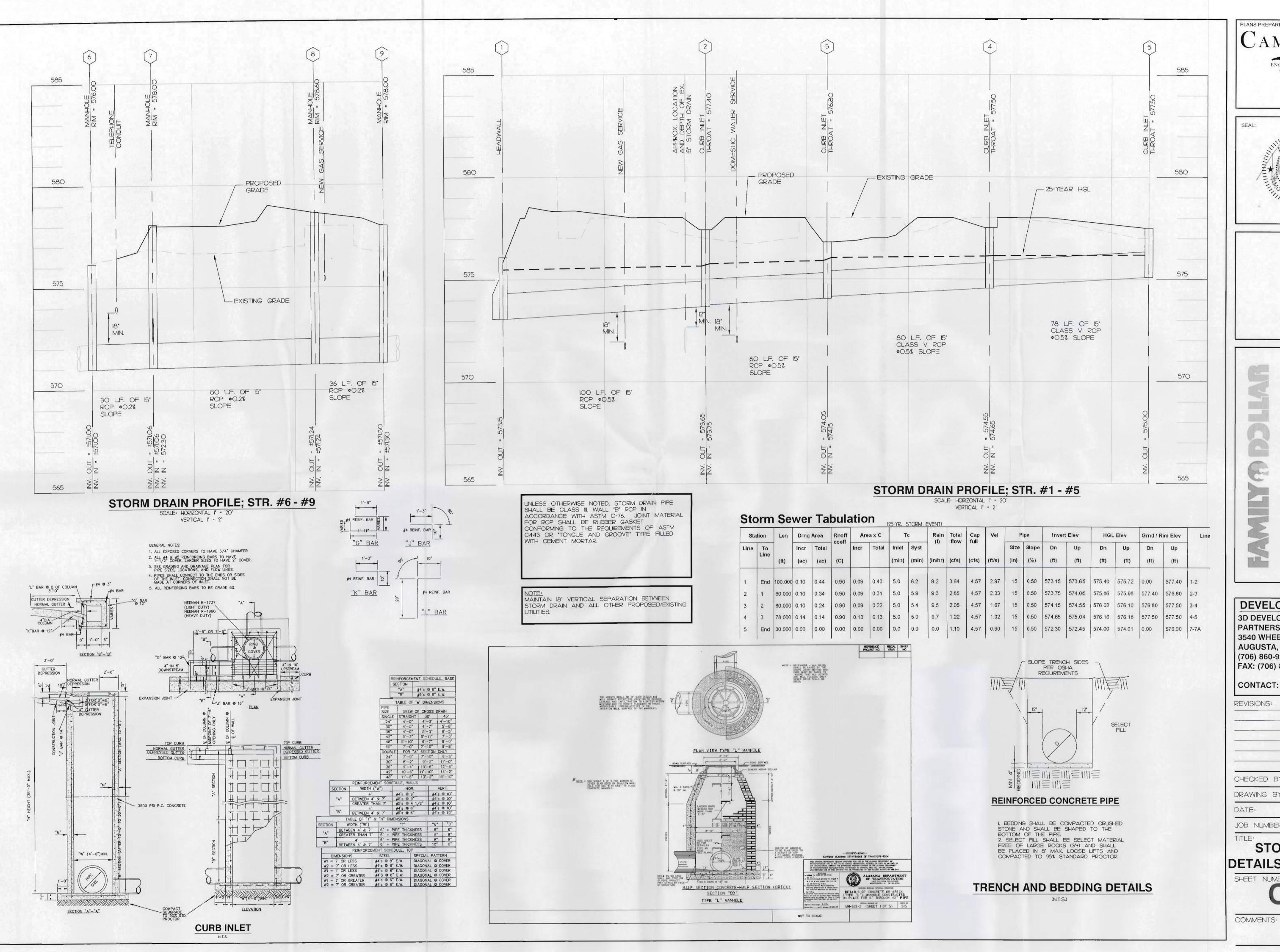
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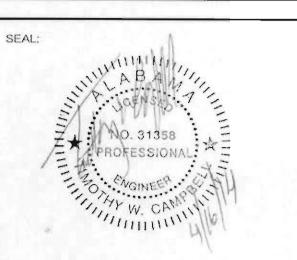
GRADING AND DRAINAGE PLAN

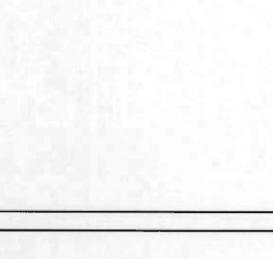
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CAMPBELL ENGINEERING & ASSOCIATES, INC Civil Engineering and Land Planning 31 Boland Court Greenville, SC 29615 (864) 335-4090 Fax: (864) 335-4095





31 SWC OF 32ND AVE N & US HV CITY OF BIRMINGHAM, A JEFFERSON COUNTY

DEVELOPER:

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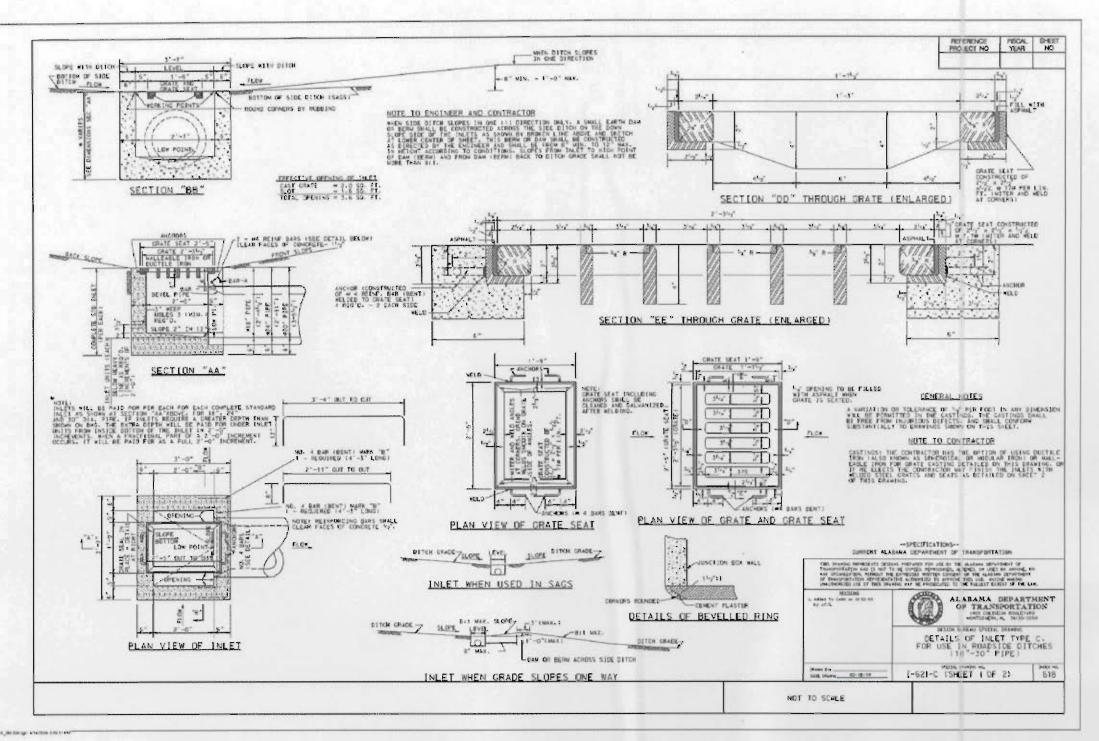
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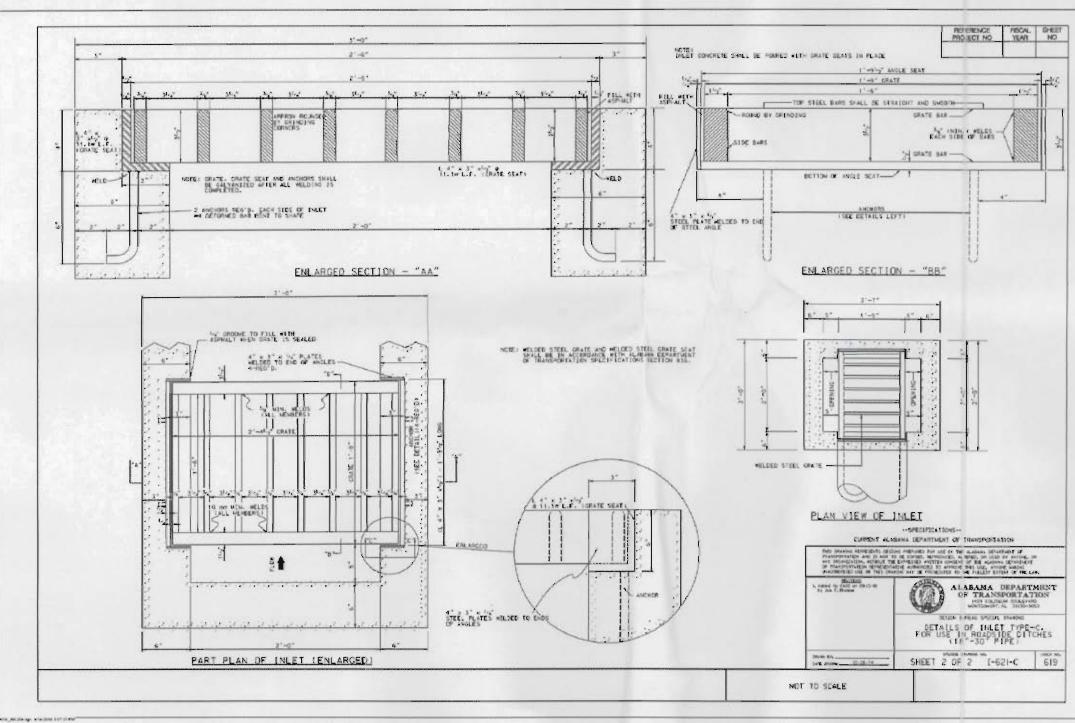
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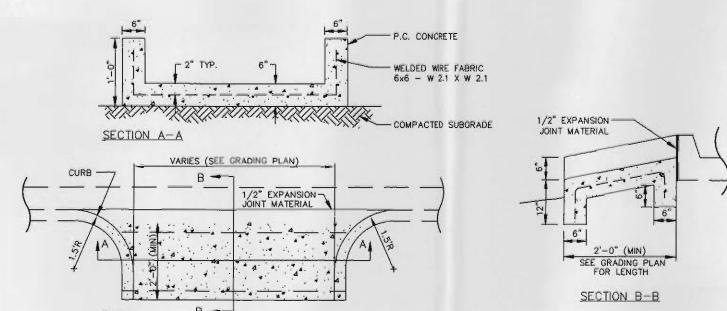
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STORM DRAIN **DETAILS AND PROFILE**

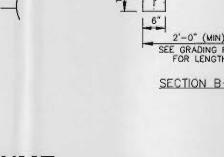
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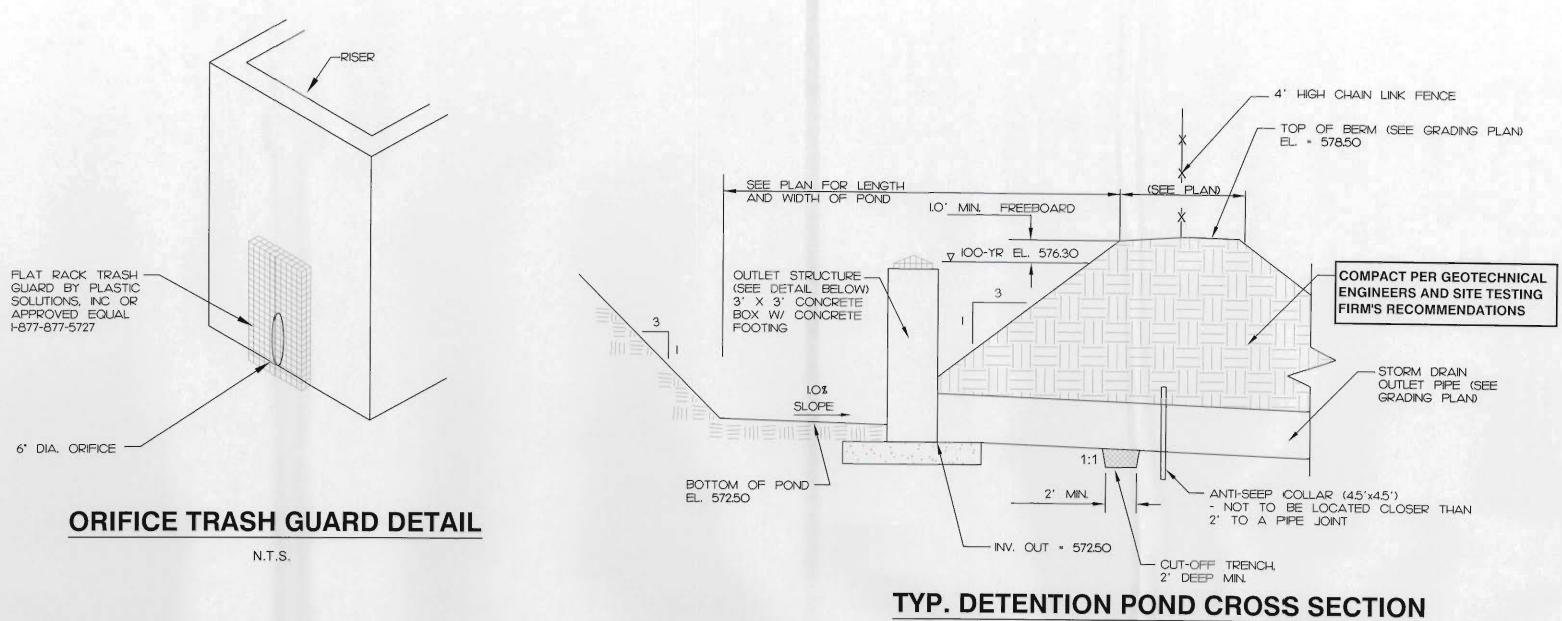
CONCRETE FLUME

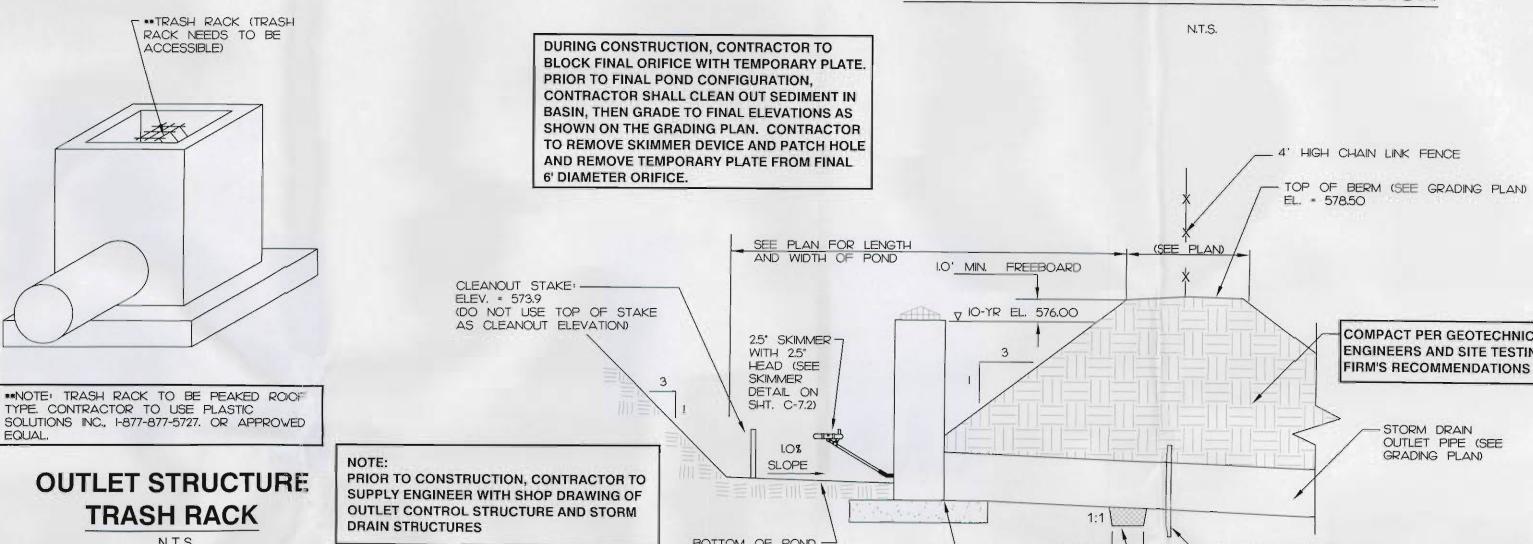


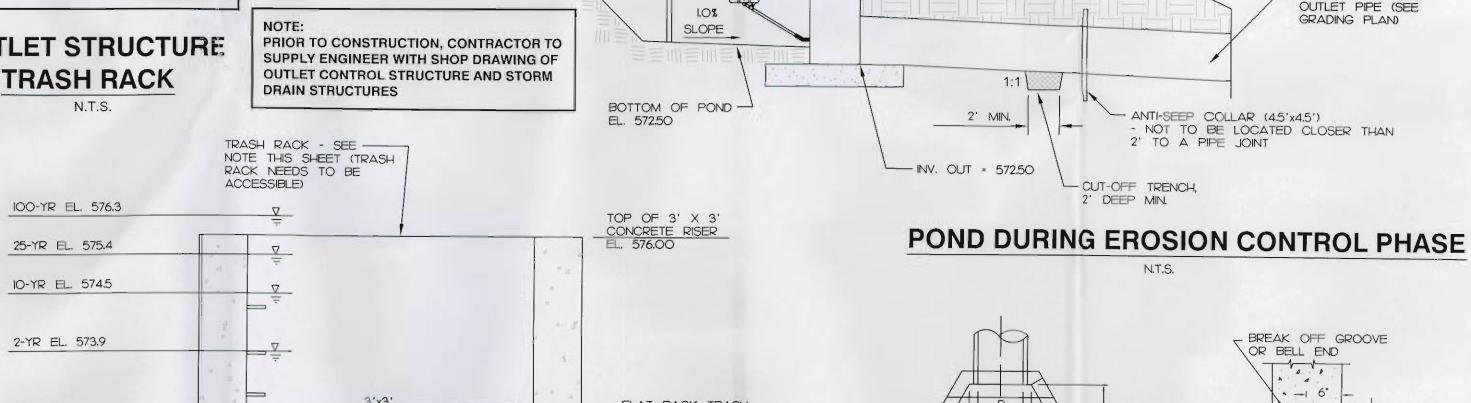
5.5' x 5.5' x 1.5' THK. ANTI FLOTATION

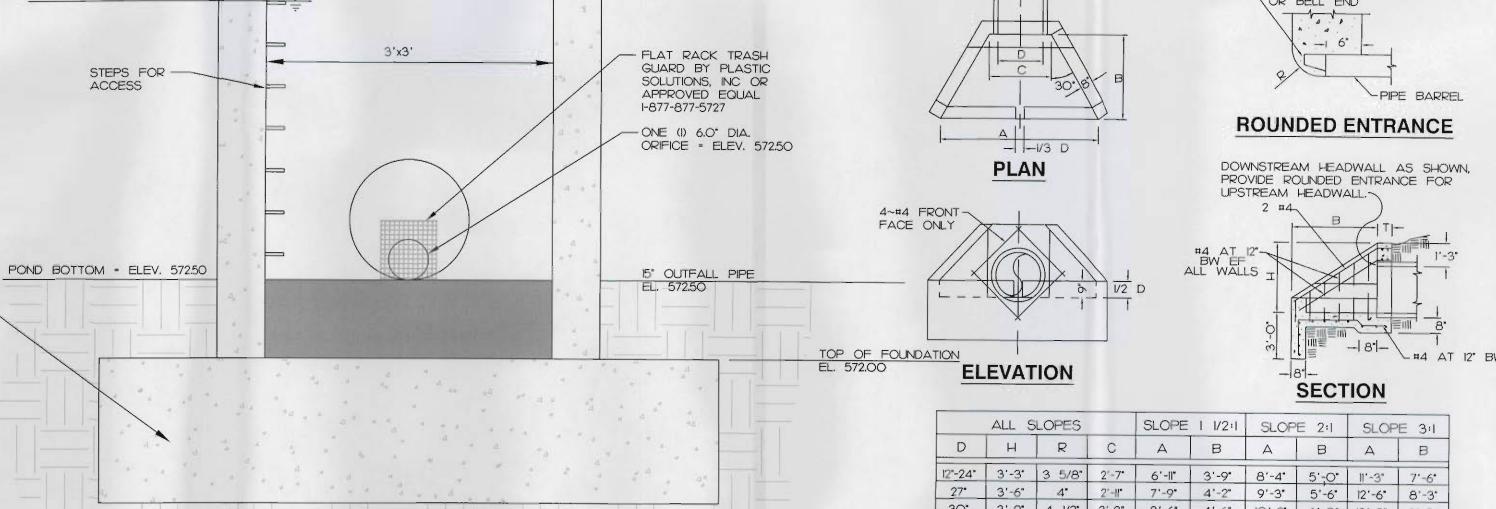
CONCRETE BASE OR AS

SPECIFIED BY MANUFACTURER









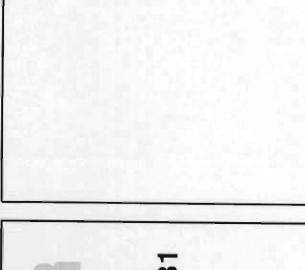
OUTLET STRUCTURE

N.T.S.

30° 3'-9° 4 1/2° 3'-3" 8'-6" 4'-6" 10'-2° 6'-0" 13'-8" 9'-0" 36° 4'-3" 5 1/2" 3'-11" 10'-1" 5'-3" 12'-0" 7'-0" 16'-1" 10'-6" 42" 4'-9" 6 3/8" 4'-7" 11'-6° 6'-0" 13'-10" 8'-0" 18'-6" 12'-0" 48" 5'-3" 6 1/2" 5'-1" 12'-11" 6'-9" 15'-6" 9'-0" 20'-8" 13'-5" 54* 5'-9" 6 3/4" 5'-8" 14'-4" 7'-6" 17'-3" 10'-0" 23'-0" 15'-0" 60" 6'-3" 7" 6'-2" 15'-9" 8'-3" 18'-11" 11'-0" 25'-3" 16'-6" T. 8" FOR DOWNSTREAM HEADWALLS, T- (R+6") FOR UPSTREAM HEADWALL **DETENTION POND** REINFORCED CONCRETE HEADWALL

PLANS PREPARED BY: CAMPBELI ENGINEERING & ASSOCIATES, INC Civil Engineering and Land Planning 31 Boland Cour Greenville, SC 2961. (864) 335-4090 Fax: (864) 335-4095





OF

COMPACT PER GEOTECHNICAL

ENGINEERS AND SITE TESTING

FIRM'S RECOMMENDATIONS

-STORM DRAIN

DEVELOPER: 3D DEVELOPMENT PARTNERS, LLC. 3540 WHEELER ROAD, STE 114 AUGUSTA, GA 30909 (706) 860-9983 FAX: (706) 860-3786

CONTACT: CHARLES DUNSTAN

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STORM DRAIN & POND DETAILS

GENERAL LANDSCAPE NOTES & SPECIFICATIONS:

AWN AREAS SHALL BE FINE GRADED TO A SMOOTH, POSITIVELY DRAINING SLOPE, REMOVING ALL STONES OVER 3/4". AGRICULTURAL LIMESTONE SHALL BE INCORPORATED INTO THE SOIL AT A RATE OF 50 POUNDS PER 1000 SQUARE FEET. APPLY SPECIFIED SEED AT RECOMMENDED RATE. STRAW MULCH OR HYDROMULCH SHALL BE USED AS DEEMED NECESSARY BY THE LANDSCAPE CONTRACTOR AND LANDSCAPE ARCHITECT. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO ESTABLISH A FULL STAND OF GRASS AND WILL REPAIR ANY BARE SPOTS I'- O' SQUARE DUE TO UNEVEN SEED DISTRIBUTION, DROUGHT

OR EROSION. SODDED LAWN AREAS SHALL BE FINE GRADED TO A SMOOTH, POSITIVELY DRAINING SLOPE, REMOVING ALL STONES OVER 3/4". SOD SHALL BE HEALTHY, THICK SOD PLACED SO THAT JOINTS ARE BUTT TIGHT. STAPLE AS NECESSARY. SOD SHALL BE TRIMMED TO MATCH BED LINES SHOWN ON PLAN. STARTUP

FERTILIZER SHALL BE INCORPORATED INTO THE SOIL AT THE MANUFACTURER'S RECOMMENDED RATE. ANY AREA OF SOD THAT FAILS TO ROOT, SETTLES OR DIES WILL BE REPLACE BY THE LANDSCAPE CONTRACTOR. UTILITY LOCATION:

THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE UTILITY LOCATOR SERVICE AND IS RESPONSIBLE FOR ANY DAMAGE DONE TO UTILITIES. PLANT QUANTITIES ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY, PLANTS SHALL BE INSTALLED AS SHOWN. CONTRACTOR IS RESPONSIBLE FOR CONFIRMING ALL QUANTITIES PRIOR TO BIDDING AND INSTALLATION.

BIDS: IN ORDER TO KEEP ALL BIDS STANDARD, ALL BIDS ARE TO HAVE UNIT PRICES LISTED. THE OWNER HAS THE OPTION TO DELETE ANY PORTION OF THE CONTRACT PRIOR TO SIGNING THE CONTRACT OR BEGINNING WORK. THIS WILL BE A UNIT PRICE CONTRACT.

PLANT QUALITY ALL PLANTS SHALL BE NURSERY GROWN, HAVE A FULL HABIT OF GROWTH AS CHARACTERISTIC OF THAT SPECIES, AND SHALL BE FREE OF DISEASE OR INSECTS, GENERAL PLANT QUALITY SHALL BE AS SPECIFIED IN THE "USA STANDARD FOR NURSERY STOCK" (PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN). PLEASE CONTACT THE LANDSCAPE ARCHITECT IF THERE IS DIFFICULTY IN LOCATING A PARTICULAR PLANT. IF NECESSARY, A SUBSTITUTE PLANT WILL BE RECOMMENDED BY THE LANDSCAPE ARCHITECT.

SHRUBS: 8" WIDER THAN ROOT BALL. TREES: 16" WIDER THAN ROOT BALL (SEE PLANTING DETAIL FOR ADDITIONAL INFORMATION).

SETTING OF PLANTS: THE ROOT BALL OF CONTAINER GROWN PLANTS SHALL BE SCARIFIED IN SEVERAL PLACES PRIOR TO PLANTING. PLANT SHRUBS AND TREES SO THAT AFTER INITIAL SETTLEMENT, THE TOP ROOT BALLS WILL BE EVEN WITH OR SLIGHTLY ABOVE THE ADJACENT SOIL LINE. AROUND ROOT BALLS, 1/2 OF THE ORIGINAL SOIL SHALL BE REMOVED FROM THE PLANTING HOLE AND THOROUGHLY MIXED WITH THE SAME QUANTITY PEAT MOSS OR WELL ROTTED, FINE TEXTURED BARK. (ONLY IN AREAS WHERE THE EXISTING SOIL IS 100% FERTILE, LOOSE TOPSOIL (BROWN OR BLACK IN COLOR) CAN PLANTS BE PLACED DIRECTLY IN THE SOIL WITH NO AMENDMENTS). PLANTINGS NOT DONE IN THIS MANNER SHALL BE REMOVED AND PROPERLY REPLANTED.

32nd AVENUE N

(60' R/W - CITY MAINTAINED)

TREES TO REMAIN

FENCE

SOD TO -

FENCE

25' LANDSCAPE/GRASS

10' LANDSCAPE/GRASS STRIP

STRIP FROM RESIDENTIA

DETENTION POND (CONTRACTOR TO SEED POND

IMMEDIATELY. IF SEED DOES NOT GERMINATE AND EROSION IS PRESENT, CONTRACTOR

SHALL SOD SLOPES)

PREPARATION OF GROUND COVER AND SEASONAL COLOR BEDS:

THE EXISTING SOIL IN GROUND COVER AND SEASONAL COLOR BEDS SHALL BE THOROUGHLY CULTIVATED 6 INCHES DEEP, TO A FINE TEXTURE (NO CLODS OVER 1/2") WITH A MECHANICAL TILLER. A PLANT MIX OF 60% SCREENED SHREDDED TOPSOIL, 20% SAND, AND 20% WELL ROTTED SAWDUST OR PEAT SHALL THEN BE THOROUGHLY INCORPORATED INTO THE EXISTING SOIL WITH THE TILLER SO THAT THE SOIL MIX (6" DEEP) IS 1/2 ORIGINAL SOIL AND 1/2 PLANT MIX. ALL GROUNDCOVER AND SEASONAL COLOR BEDS SHALL RECEIVE A 2" LAYER OF FINE TEXTURED, SCREENED, PINE BARK MULCH, OR EQUAL. PLANTINGS NOT DONE IN THIS MANNER SHALL BE REMOVED AND PROPERLY REPLANTED.

UPON COMPLETION OF PLANTINGS, ALL SHRUBS SHALL RECEIVE 1/6 CUP OF 16-4-8 FERTILIZER (50%) OF NITROGEN SLOW RELEASE) EVENLY BROADCAST AT THE BASE OF THE PLANTS. TREES SHALL RECEIVE 1/4 CUP OF 16-4-8 FERTILIZER (50% OF NITROGEN SLOW RELEASE) PER INCH OF CALIPER. GROUND COVER BEDS SHALL BE FERTILIZED AT THE RATE OF 20 POUNDS OF 16-4-8 (50% OF NITROGEN SLOW RELEASE) PER 1000 SQUARE FEET.

STAKING OF TREES! DECIDUOUS TREES, 1 1/2" IN CALIPER AND OVER, AND EVERGREEN TREES, 8' AND TALLER SHALL BE STAKED, RUBBERHOSE TO BE USED TO COVER THE WIRE AT THE POINT OF ITS CONTACT WITH THE TREE. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL WIND DAMAGE TO TREES, (PROVIDED WINDS ARE LESS THAN 60MPH) DURING THE GUARANTEE PERIOD, AND MAY STAKE OTHER TREES (FOR HIS OWN PROTECTION) AT HIS OPTION.

TRANSPLANTS: ALL PLANT MATERIAL TO BE TRANSPLANTED SHALL BE TRANSPLANTED ACCORDING TO GUIDELINES SET BY AAN STANDARDS, TRANSPLANTED MATERIAL WILL NOT BE GUARANTEED BY THE LANDSCAPE CONTRACTOR.

MULCHING: AS SPECIFIED ON PLANTING LIST. HARDWOOD MULCH: ALL BEDS TO RECEIVE A 3" LAYER OF AGED HARDWOOD BARK MULCH (FREE OF WOOD CHIPS OR LARGE CHUNKS OF BARK). FRESH HARDWOOD BARK MULCH IS NOT RECOMMENDED TO BE USED, AS WATER RUN-OFF MAY CAUSE STAINING ON ADJACENT CONCRETE SURFACES. ALL DAMAGES INCURRED BY THE USE OF FRESH HARDWOOD MULCH SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. PINESTRAW: ALL BEDS TO RECEIVE A 4" LAYER (PRIOR TO COMPACTION) OF PINESTRAW. AFTER NATURAL COMPACTION, PINESTRAW SHOULD HAVE A DEPTH OF 2". ALL TREES LOCATED IN LAWN AREAS SHALL RECEIVE A 3' DIAMETER RING OF MULCH. MULCH IN THESE AREAS IS TO FOLLOW THE ABOVE LISTED GUIDELINES.

GRADING: ALL FINAL GRADING SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. THE RESPONSIBILITY FOR ANY ADDITIONAL GRADING (IF NEEDED) SHALL BE DETERMINED PRIOR TO BIDDING.

> IRRIGATION SLEEVE (SEE SITE DETAILS)

(3' O.C.)

TYPICAL HEAD INFORMATION:

- . MAIN LINE TO BE I' SCH 40 PVC
- ASSUMED I" METER WITH 75 PSI AND 35 GPM
- CLOCK TO BE RAINBIRD OR TORO. ALL HEADS TO BE TORO 570 OR 300 SERIES AS SHOWN OR RAINBIRD
- ADJUST SPRAY PATTERN FOR MAXIMUM COVERAGE. IRRIGATION CONTRACTOR WILL SELECT SPRAY PATTERN THAT WILL PROVIDE MAXIMUM COVERAGE AND MIN.
- OVERTHROW ON BUILDINGS AND PAVED SURFACES · ALL HEADS LOCATED NEXT TO BUILDING SHALL BE PLACED ON SHRUB RISERS
- ADD SHRUB RISERS AS NEEDED. SHRUB RISERS SHALL NOT BE PLACED IN PARKING ISLANDS OR WHERE VEHICULAR TRAFFIC OR PARKING WILL DAMAGE THE

LANDSCAPE CONTRACTOR TO VERIFY ANY ADDITIONAL BACKFILL/TOPSOIL NEEDED PRIOR TO BEGINNING WORK, A UNIT PRICE FOR TOPSOIL SHALL BE INCLUDED IN ALL BID DOCUMENTS TO ALLOW FOR CIRCUMSTANCES THAT MIGHT ARISE DURING INSTALLATION.

CLEAN UP: FINAL CLEAN UP OF ANY DISTURBANCES OCCURRING AS A RESULT OF LANDSCAPE OPERATIONS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FOR INSPECTION OF THE PLANT MATERIAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ALL PLANT MATERIAL WILL BE INSPECTED. PLANTS NOT CONFORMING PRECISELY TO THE PLANT LIST WILL NOT BE ACCEPTED AND SHALL BE REPLACED AT THE CONTRACTOR'S OWN EXPENSE.

LICENSES: THE CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ALL LICENSES NECESSARY TO COMPLETE THE WORK.

INSURANCE: WITH THE SUBMITTAL OF BID DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL ALSO SUBMIT A CERTIFICATE OF INSURANCE FOR WORKMAN'S COMPENSATION AND A CONTRACTOR'S GENERAL LIABILITY, CONTRACTORS NOT PROVIDING EVIDENCE OF SUCH INSURANCE WILL BE INELIGIBLE TO RECEIVE THE CONTRACT FOR THE JOB

COMMON NAME

BERMUDA

HARDWOOD

SYMBOL KEY QTY

SOD

ALL SLOPES 3:1 OR STEEPER

AMERICAN GREEN P300 ALONG

FACE OF SLOPE. MAXIMUM SLOPE

LANDSCAPE AREA TO BE SOD)

-±217 SF (INTERIOR

ISLAND)

-±245 SF (INTERIOR

ISLAND)

(SEE SITE DETAILS

SHALL RECEIVE NORTH

SHALL BE 2:1

GUARANTEE: ALL PLANT MATERIAL AND WORKMANSHIP TO BE GUARANTEED FOR ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER, PLANT REPLACEMENT TO OCCUR ONLY ONCE, THE CONTRACTOR WILL NOT BE RESPONSIBLE FOR DEFECTS RESULTING FROM NEGLECT BY THE OWNER, ABUSE OR DAMAGE . BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS BEYOND THE LANDSCAPE CONTRACTORS CONTROL WHICH RESULT FROM NATURAL CAUSES SUCH AS FLOODS, LIGHTNING, STORMS, FREEZING RAINS, OR WINDS OVER 60 MILES PER HOUR, FIRE, VANDALISM OR THEFT.

PLANT LIST

LAGERSTROEMIA 'NATCHEZ'

SEE DEMOLITION PLAN SHEET

C-3.0 FOR EXISTING TREES AND

VEGETATION TO BE REMOVED.

BEHIND PARKING

ISLAND)

SPACES TO SCREEN FROM ADJACENT

STREET (TYP.) ±320 SF-

±120 SF -

BOTANICAL NAME

DWARF BURFORD ILEX CORNUTA 'BURFORDII NANA' 3 GAL.

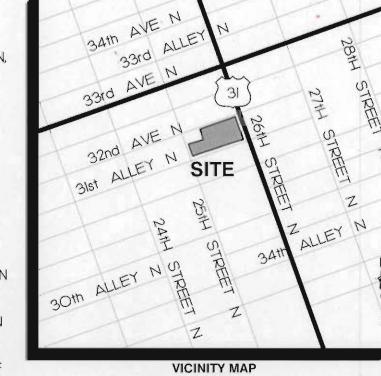
GENERAL IRRIGATION NOTES:

PROPOSED SHALL BE IRRIGATED.

SPACING

2.0" CALIPER

- IRRIGATION CONTRACTOR TO PROVIDE GENERAL CONTRACTOR FINAL IRRIGATION DESIGN. IRRIGATION CONTRACTOR TO VERIFY HEAD LOCATION, PATTERN, AND IS TO SIZE ALL PIPING TO PROVIDE MAXIMUM COVERAGE FOR THE LANDSCAPE WHILE UTILIZING THE SIZE IRRIGATION METER AS
- IRRIGATION CONTRACTOR TO PROVIDE HINCH METER AND DOUBLE CHECK VALVE (VERIFY PRESSURE)
- VERIFY LOCATION OF METER / DOUBLE CHECK VALVE PRIOR TO BEGINNING WORK.
- IRRIGATION CONTRACTOR TO PROVIDE IRRIGATION CLOCK / CONTROLLER. GENERAL CONTRACTOR TO PROVIDE AND INSTALL SLEEVE(S) TO CLOCK
- LOCATION. GENERAL CONTRACTOR TO PROVIDE POWER SOURCE FOR CLOCK.
- IRRIGATION CONTRACTOR TO PROVIDE AND INSTALL ALL IRRIGATION
- WHERE APPLICABLE IRRIGATION CONTRACTOR MAY UTILIZE DRIP IRRIGATION FOR MIST OR SPRAYED-TYPE IRRIGATION HEADS. DRIP IRRIGATION SHALL NOT BE USED IN ANNUAL COLOR BEDS OR TURF AREAS. DRIP IRRIGATION SYSTEM SHALL CONFORM TO SPECIFICATIONS AS OUTLINED IN DRIP IRRIGATION INFORMATION BELOW.
- IRRIGATION HEADS LOCATED IN AREAS OF POTENTIAL VEHICULAR 'ROLL-OVER' ARE TO SET A MINIMUM OF ONE (1) FOOT FROM BACK OF
- CURB TO PREVENT DAMAGE DUE TO TURNING VEHICLES. UNLESS DIRECTED BY OWNER, IRRIGATION COVERAGE WILL NOT BROADCAST OR THROW ONTO THE RIGHT-OF-WAY. ALL IRRIGATION WILL BE CONTAINED WITHIN THE PROPERTY LINES. ALL LIVE PLANTINGS



LANDSCAPING CALCULATIONS (APPENDIX A1-10):

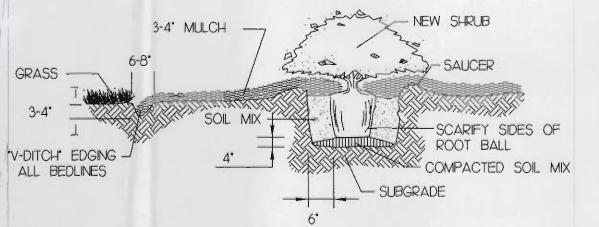
PARKING LOT LANDSCAPING:

- I. SQUARE FOOTAGE OF PAVED PARKING AND MANEUVERING AREAS IS ±18,400 SF (GREATER THAN 4,000 SF)
- 2. IF GREATER THAN 4,000 SF, CALCULATE GROSS SQUARE
- FOOTAGE OF LOT, 'A' +51,600 SF
- 3. CALCULATE TOTAL SQUARE FOOTAGE OF STRUCTURE
- FOOTPRINTS, 'B' = 9,180 SF
- 4. FOR PARKING AREAS, A MINIMUM OF 5% (A-B X 5%) = 51,600 SF - 9,180 SF X5% = ±2,121 SF
- 5. SINCE PARKING AREA IS GREATER THAN 10,000 SF, HALF OF THE ±2,121 SF MUST BE LOCATED WITHIN INTERIOR LANDSCAPED
- ISLANDS. ±2,121 / 2 = ±1061 SF MUST BE INTERIOR ISLANDS.
- 6. ±1,207 SF INTERIOR LANDSCAPING PROVIDED IN ADDITION TO ±1030 SHOWN FOR PARKING AREAS
- 7. TOTAL = $\pm 2,237$ SF PROVIDED $\rightarrow \pm 2,121$ SF REQUIRED.

SITE LANDSCAPING:

- I. IN ADDITION TO PARKING LOT LANDSCAPING, THERE ARE ALSO AN OVERALL GENERAL LANDSCAPING REQUIREMENTS OF FIVE (5%) PERCENT FOR SITE. THE SITE'S GROSS AREA 'X' = 51,600 SF.
- 2. CALCULATE THE TOTAL SQUARE FOOTAGE OF ALL STRUCTURES
- THE TOTAL STRUCTURAL FOOTPRINT 'Y' = 9,180 SF. 3. CALCULATE THE SQUARE FEET OF THE PAVED/MANUEVERING AREAS. THE SUM TOTAL PARKING LOT AREA 'Z' = ±18,400 SF
- 4. THE GENERAL FIVE PERCENT SITE LANDSCAPING REQUIREMENT SHALL BE DETERMINED AS: X - (Y + Z) TIMES 0.05; 51,600 SF (9,180 SF + 18,400 SF) X 0.05 = ±1,200 SF. = ±2,126 SF OF SITE LANDSCAPING SHOWN

DETAIL: TREE PLANTING (OVER 1.5" CAL.)





JOB NUMBER LANDSCAPE PLAN

04/16/14

CAMPBELI

PROFESSIONAL:

0000

ST OF 32I ITY OF JEFFI

DEVELOPER:

3D DEVELOPMENT

AUGUSTA, GA 30909

FAX: (706) 860-3786

3540 WHEELER ROAD, STE 114

CONTACT: CHARLES DUNSTAN

PARTNERS, LLC.

(706) 860-9983

REVISIONS:

CHECKED BY

DRAWING BY

DATE:

ENGINEERING & ASSOCIATES, INC

Civil Engineering and Land Plannin

31 Boland Court

(864) 335-4090

Greenville, SC 2961.

Fax: (864) 335-4095

SHEET NUMBER: C-8.0

COMMENTS:

INTERIOR FAMILY DOLLAR ±9180 SQ. FT. 5,080 ±70X132 (3' O.C.) FF = 579.0**DETAIL: SHRUB PLANTING & BED EDGING** (INTERIOR ISLAND) 10' LANDSCAPE/GRASS STRIF SOD 31st ALLEY N

ILEX X ATTENUATA 'FOSTERI' 2.0" CALIPER 20' O.C. 6' TALL @ PLANTING

LANDSCAPE AREA TO BE SOD)

00

NEW TREE (OVER 2" CAL.) AROUND WIRE SPACED EQUALLY AROUND TREE -SAFETY FLAGGING AMENDED SOIL -PREPARE AREA 2 TIMES WIDTH OF ROOTBAL

(CITY MAINTAINED)

- A. SURFACE DEBRIS REMOVAL
- B. TOPSOIL STRIPPING AND STORAGE
- C. GRUBBING
- D. TREE REMOVAL
- E. LOCATION AND PROTECTION OF REFERENCE POINTS
- 1 .03 RELATED SECTIONS
- A. GRADING
- B. EXCAVATION FOR STRUCTURES AND UTILITIES
- 1.04 REGULATORY REQUIREMENTS
- A. GOVERNING AUTHORITIES:

CONFORM TO APPLICABLE CODES FOR DISPOSAL OF

B. UTILITIES:

COORDINATE WORK OF THIS SECTION WITH UTILITY COMPANIES.

1.05 EXAMINATION OF SITE

A. CONTRACTOR SHALL VISIT AND EXAMINE THE SITE TO ASCERTAIN THE ACTUAL NATURE AND SCOPE OF ANY DEMOLITION WORK, LATER CLAIMS FOR ADDITIONAL COMPENSATION COVERING DIFFICULTIES ENCOUNTERED IN DEMOLITION WORK WILL NOT BE RECOGNIZED.

PART II - PRODUCTS

2.01 NOT APPLICABLE

PART III - EXECUTION

3.01 GENERAL

A. REMOVE TREES, GRASS, WEEDS, ROOTS, AND OTHER VEGETATION FROM THE AREAS TO BE EXCAVATED, FILLEDOR GRADED. NOTIFY UTILITY COMPANIES WHEN WORKING IN AREAS WHERE UTILITY LINES MIGHT BE **ENCOUNTERED**

3.02 PREPARATION

A. VERIFY THAT EXISTING PLANT LIFE AND FEATURES DESIGNATED TO REMAIN ARE TAGGED OR IDENTIFIED.

3.03 PROTECTION

A. PROTECT UTILITIES, BENCH MARKS AND EXISTING STRUCTURES, TREES, AND FEATURES, DESIGNATED TO REMAIN, FROM DAMAGE OR DISPLACEMENT.

3.04 CLEARING

A. SURFACE DEBRIS:

REMOVE DEBRIS (TRASH, LOOSE STONE, BROKEN CONCRETE, ETC.) INSIDE PROPERTY LINES PRIOR TO BEGINNING TOPSOIL STRIPPING.

B. TOPSOIL STRIPPING:

I. GENERAL

REMOVE BRUSH, ROOTS, GRASS, ROCKS AND WEEDS BEFORE STRIPPING.

2. DEPTH

REMOVE TOPSOIL UP TO A DEPTH OF 6 INCHES IN AREAS INDICATED ON THE DRAWINGS AS BUILDINGS, DRIVES, PARKING, WALKS AND OTHER PAVING.

3. STORAGE

STORE TOPSOIL ACCEPTABLE AS FILL IN PLANTING AREAS IN NEAT PILES AT LOCATIONS ON SITE. ARRANGE STORAGE TO AVOID INTERFERENCE WITH BUILDING OPERATIONS. DO NOT STORE TOPSOIL CONTAINING DEBRIS, STONES, OR SUBSOIL. REMOVE EXCESS AND/OR UNACCEPTABLE TOPSOIL FROM SITE.

C. GRUBBING

I. GENERAL

REMOVE FOUNDATIONS, TRASH, STUMPS, OLD LUMBER, STRUCTURES, ETC. LOCATED EITHER ABOVE, ON THE SURFACE, OR BELOW GROUND WHICH MAY INTERFERE WITH NEW CONSTRUCTION.

2. DEPTH

REMOVE OBSTRUCTIONS WITHIN WORK AREA COMPLETELY IN AREAS TO BE COVERED BY BUILDINGS AND TO DEPTH OF 24 INCHES IN AREAS TO BE PLANTED, SODDED OR SURFACED, UNLESS SHOWN OTHERWISE ON THE DRAWINGS.

3. EXISTING PAVING

REMOVE CURBS, GUTTERS, AND PAVING LOCATED WITHIN AND OUTSIDE PROPERTY LINES WHERE SHOWN ON THE DRAWINGS.

3.05 TREE REMOVAL

A. REMOVE TREES AND STUMPS FROM AREA TO BE OCCUPIED BY NEW CONSTRUCTION AND WHERE SHOWN ON THE DRAWINGS. DO NOT REMOVE ANY OTHER TREES WITHOUT INSTRUCTIONS FROM THE OWNER, USE METHODS OF REMOVAL WHICH WILL PREVENT INJURY TO PERSONS, DAMAGE TO PROPERTY, OR INJURY TO ADJACENT NATURAL GROWTH.

3.06 REFERENCE POINTS

A. LOCATE BENCH MARKS, MONUMENTS AND OTHER REFERENCE POINTS FOR ELEVATION AND LOCATION OF BUILDING, NOTIFY OWNER OF APPARENT DISCREPANCIES IN INDICATED LOCATIONS. PROTECT REFERENCE POINTS FROM DISLOCATION OR DAMAGE. REPLACE OR REPAIR IMMEDIATELY ANY POINTS DAMAGED, DESTROYED OR DISLOCATED. DO NOT PROCEED WITH CONSTRUCTION UNTIL REFERENCE POINTS HAVE BEEN REVIEWED AND ACCEPTED BY THE OWNER.

3.07 CLEAN-UP

A. UPON COMPLETION OF WORK OF THIS SECTION, REMOVE RELATED DEBRIS FROM PREMISES.

END OF SECTION

GRADING

PART I - GENERAL

I.OI SECTION INCLUDES

- A. ROUGH GRADING AND CONTOURING OF SITE.
- B. FINISH GRADING AND TOPSOIL.
- 1 .O2 RELATED SECTIONS A. SITE CLEARING

STRUCTURES

- B. EXCAVATION, BACKFILL, AND COMPACTING FOR
- C. EXCAVATING, BACKFILLING AND COMPACTING FOR UTILITIES

PART II - PRODUCTS

2.01 MATERIALS

A. SUBSOIL:

EXCAVATED OR EQUAL BORROW MATERIAL, GRADED FREE OF LUMPS AND ROCKS LARGER THAN 6 INCHES, AND DEBRIS.

B. TOPSOIL

EITHER EXCAVATED MATERIAL FROM SITE OR IMPORTED FRIABLE LOOM, FREE OF SUBSOIL, ROOTS, GRASS, WEEDS, STONE, AND FOREIGN MATTER, ACIDITY RANGE (PH OF 5.5 TO 7.5, CONTAINING MINIMUM OF 4 PERCENT AND MAXIMUM OF 25 PERCENT ORGANIC MATTER.

PART III - EXECUTION

3.01 INSPECTION

A. VERIFY SITE CONDITIONS AND NOTE IRREGULARITIES AFFECTING WORK OF EACH PHASE OF THIS SECTION. BEGINNING WORK OF EACH PHASE OF THIS SECTION MEANS ACCEPTANCE OF EXISTING CONDITIONS.

3.02 PREPARATION

A. ROUGH GRADING

1. GENERAL

IDENTIFY REQUIRED LINES, LEVELS, CONTOURS, AND DATUM.

2. UTILITIES

IDENTIFY KNOWN BELOW GRADE UTILITIES. STAKE AND FLAG LOCATIONS. IDENTIFY AND FLAG ABOVE GRADE UTILITIES. MAINTAIN AND PROTECT EXISTING UTILITIES REMAINING WHICH PASS THROUGH WORK AREA. NOTIF' UTILITY COMPANY TO REMOVE AND/OR RELOCATE UTILITIES. UPON DISCOVERY OF UNKNOWN UTILITY OR CONCEALED CONDITIONS, DISCONTINUE AFFECTED WORK NOTIFY OWNER.

B. FINISH GRADING:

I. GENERAL

ELIMINATE UNEVEN AREAS AND LOW SPOTS. REMOVE DEBRIS, ROOTS, BRANCHES, STONES, IN EXCESS OF 2" INCH IN SIZE. REMOVE SUBSOIL CONTAMINATED WITH PETROLEUM PRODUCTS.

2. SCARIFYING

SCARIFY SUBGRADE TO DEPTH OF 6 INCHES WHERE TOPSOIL IS REQUIED. SCARIFY IN AREAS WHERE EQUIPMENT USED FOR HAULING AND SPREADING TOPSOIL HIAS COMPACTED SUBSOIL.

A. PROTECT BENCH MARKS, EXISTING CONSTRUCTION AND ABOVE OR BELOW GRADE UTILITIES WHICH ARE TO REMAIN. REPAIR DAMAGE AT NO ADDITIONAL COST TO

OWNER.

A. ROUGH:

3.04 GRADING

CUT OR FILL AND MACHINE GRADE SITE AS SHOWN ON THE DRAWINGS, TO DRAIN AS INDICATED, ALLOWING FOR THICKNESS OF PAVING SUB-BASE AND PAVING. WHERE FILL IS REQUIRED, USE SUITABLE EXCAVATED CLEAN MATERIAL, PRODUCT OF CUT OPERATION AND/OR FURNISH EQUAL BORROW IF EXCAVATED MATERIAL IS NOT ADEQUATE FOR USE. PLACE FILL IN HORIZONTAL LIFTS NOT IN EXCESS OF 8 INCHES THICK AFTER COMPACTION BY ROLLING AND/OR TAMPING. ROUGH GRADE TO A TOLERANCE OF PLUS OR MINUS ONE INCH.

B. FINISH:

I. GENERAL

ESTABLISH GRADES BY MEANS OF GRADE STAKES PLACED AT CORNERS OF UNITS AT ABRUPT CHANGES OF GRADE AND ELSEWHERE AS REQUIRED.

2. TOPSOIL

A. GENERAL:

PROVIDE A 6 INCH LAYER OF TOPSOIL, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, IN AREAS NOTED PLANTING' AND IN OTHER AREAS WHERE EXISTING TOPSOIL HAS BEEN DISTURBED OR OTHERWISE MADE UNUSABLE.

B. PLACING!

USE TOPSAIL IN RELATIVELY DRY AREAS. PLACE DURING DRY WEATHER. FINE GRADE ELEVATING ROUGH OR LOW AREAS. MAINTAIN LEVELS AND CONTOURS OF SUBGRADE. REMOVE STONE, ROOTS, GRASS, WEEDS, DEBRIS, AND FOREIGN MATER WHILE SPREADING. MANUALLY SPREAD AROUND TREES, PLANTS, BUILDINGS, ETC. TO PREVENT DAMAGE TO TIGHTLY COMPACT PLACED TOPSOIL, TOP OF TOPSOIL, PLUS OR MINUS 1/2" INCH.

C. TOLERANCE

TOP OF TOPSOIL, PLUS OR MINUS 1/2" INCH.

3.05 CLEAN-UP

A. UPON COMPLETION OF WORK OF THIS SECTION, REMOVE RELATED DEBRIS FROM THE PREMISES.

END OF SECTION

EXCAVATING, BACKFILLING, AND COMPACTING FOR STRUCTURES

PART I - GENERAL

- I.OI SECTION INCLUDES
- A. EXCAVATION FOR BUILDING CONSTRUCTION B. EXCAVATION FOR PARKING CONSTRUCTION
- DEWATERING EXCAVATIONS
- FILLING AND BACKING FOR CONSTRUCTION
- COMPACTION

INSPECTION AND TESTING

1.02 RELATED SECTIONS A. SUBSURFACE INVESTIGATION

B. TESTING LABORATORY SERVICES

C. GRADING

D. EXCAVATING, BACKFILLING AND COMPACTING FOR UTILITIES

1.03 REFERENCE STANDARDS

A. AMERICAN SOCIETY FOR TESTING MATERIALS (ASTM)

I.O4 TEST REPORTS

A. SUBMIT THREE COPIES TO OWNER

2.01 MATERIALS FOR FILLING AND BACKFILLING

COMPACTION REQUIREMENTS, ETC.

PART II - PRODUCTS

A. GENERAL SITE: REUSED EXCAVATED OR EQUAL BORROW MATERIAL

TO 100 PERCENT MAXIMUM DENSITY AT OPTIMUM

IOW EXPANSIVITY, PKB. UNIFORM IN GRADE, FREE FROM

ORGANIC MATERIALS, CAPABLE OF BEING COMPACTED

MOISTURE CONTENT, ASTM D-698.

BUILDING EMBANKMENT: AS DESCRIBED ON THE ARCHITECTURAL/STRUCTURAL DRAWINGS, INCLUDING OPTIMUM MOISTURE CONTENT,

C. SELECT FILL (WITHIN BUILDING LINES):

AS DESCRIBED ON THE ARCHITECTURAL/STRUCTURAL DRAWINGS, INCLUDING OPTIMUM MOISTURE CONTENT, COMPACTION REQUIREMENTS, ETC.

TOPSOIL STRIPPED FROM SITE MAY BE USED. E. GRANULAR FILL/SAND CUSHION:

NATURAL RIVER OR BANK SAND, FREE OF SILT, CLAY

LOAM, FRIABLE OR SOLUBLE MATERIALS AND ORGANIC

AND OTHER DELETERIOUS MATTER, UPPER 6' OF

CLEAN, NATURAL TOPSOIL FREE OF VEGETATION, DEBRIS,

MATTER, GRADED IN ACCORD WITH ASTM C136

PART III - EXECUTION

3.01 INSPECTION A. VERIFY FOUNDATION WALLS ARE BRACED TO SUPPORT SURCHARGE FORCES IMPOSED BY BACKFILLING OPERATIONS AND THAT AREAS TO BE BACKFILLED ARE FREE OF DEBRIS, SNOW, ICE, OR WATER, AND GROUND

SURFACES ARE NOT FROZEN. 3.02 PREPARATION

A. EXCAVATING:

I. GENERAL

2. UTILITIES

IDENTIFY REQUIRED LINES, LEVELS, CONTOURS, AND DATUM,

IDENTIFY KNOWN UNDERGROUND UTILITIES. STAKE AND FLAG LOCATIONS, IDENTIFY AND FLAG SURFACE AND

AERIAL UTILITIES. MAINTAIN EXISTING UTILITIES TO REMAIN WHICH PASS THROUGH WORK AREA. BACKFILLING:

WHEN NECESSARY, COMPACT SUBGRADE SURFACES TO DENSITY REQUIREMENTS FOR BACKFILL MATERIAL. CUT OUT SOFT APEAS OF SUBSPADE NOT PEADLY CAPABLE OF IN-SITU COMPACTION. BACKFILL AND COMPACT TO DENSITY EQUAL TO REQUIREMENTS FOR SUBSEQUENT BACKFILL MATERIAL

3.03 PROTECTION

A. GENERAL:

. PROVIDE ADEQUATE SHEETING, SHORING AND BRACING FOR EXCAVATIONS TO PREVENT CAVING OR TO PROTECT PERSONNEL WITHOUT ADDITIONAL COST TO

2. SHORING AND BRACING SHALL CONFORM TO THE REQUIREMENTS OF OSHA AND/OR THE AUTHORITY HAVING JURISDICTION OVER THE PROJECT, IF A CONFLICT EXISTS BETWEEN AGENCIES, THE MOST STRINGENT SHALL PREVAIL

B. CONSTRUCTION:

PROTECT BENCH MARKS, EXISTING STRUCTURES, FOUNDATIONS, FENCES, SIDEWALKS, PAVING, AND CURBS FROM EQUIPMENT AND VEHICULAR TRAFFIC.

C. UTILITIES:

PROTECT ABOVE AND BELOW GRADE UTILITIES TO REMAIN,

LANDSCAPE FEATURES:

PROTECT EXISTING TREES, SHRUBS, LAWNS, ROCK OUTCROPPING AND OTHER FEATURES TO REMAIN AS A PORTION OF FINAL LANDSCAPING. . EXCAVATIONS:

SURFACE WATER RUN-OFF INTO EXCAVATION, PROTECT

GRADE EXCAVATION TOP PERIMETER TO PREVENT

EXCAVATIONS BY METHODS REQUIRED TO PREVENT

CAVE-IN OR LOOSE SOIL FROM FALLING INTO

EXCAVATION. 3.04 EXCAVATING

> EXCAVATE SUBSOIL REQUIRED FOR BUILDING FOUNDATIONS, CONSTRUCTION OPERATIONS, AND OTHER WORK. MACHINE SLOPE BANKS TO ANGLE OF REPOSE OR LESS. HAND TRIM EXCAVATION AND LEAVE FREE OF LOOSE MATTER. REMOVE LUMPED SUBSOIL, BOULDERS AND ROCK UP TO 1/3 CU YD, MEASURED BY VOLUME. CORRECT UNAUTHORIZED EXCAVATION AT NO COST TO OWNER. FILL OVER-EXCAVATED AREAS UNDER STRUCTURE BEARING SURFACES IN ACCORD WITH DIRECTIONS OF

THE OWNER, REMOVE EXCAVATED MATERIAL FROM SITE,

3.05 DEWATERING

A. IF WATER CONDITION IS PRESENT, PROVIDE DEWATERING WITHOUT ADDITIONAL COST TO OWNER, INCLUDING SUMPS, PUMPS AND PUMPING AS MAY BE REQUIRED MAINTAIN DEWATERING UNTIL BACKLILLING IS COMPLETE AND/OR WATER CONDITION NO LONGER EXISTS.

3.06 BACKFILLING AND COMPACTING

A. GENERAL

BACKFILL AREAS TO PROVIDE ELEVATIONS SHOWN ON THE DRAWINGS, USE UNFROZEN MATERIALS. BACKFILL SYSTEMATICALLY, AS EARLY AS POSSIBLE, TO ALLOW MAXIMUM TIME FOR NATURAL SETTLEMENT. DO NOT BACKFILL OVER POROUS, WET, OR SPONGY SUBGRADE SURFACES.

B. BACKFILLING:

I. EMPLOY PLACEMENT METHODS WHICH WILL NOT DISTURB OR DAMAGE CONSTRUCTION TO REMAIN. BACKFILL AGAINST SUPPORTED FOUNDATION WALLS BACKFILL SIMULTANEOUSLY ON EACH SIDE OF UNSUPPORTED FOUNDATION WALLS UNTIL SUPPORTS ARE IN PLACE. SLOPE GRADE AWAY FROM BUILDING MINIMUM 2 INCHES IN 10 FEET, UNLESS SHOWN OTHERWISE ON THE DRAWINGS. MAKE CHANGES IN GRADE GRADUAL. BLEND SLOPES INTO LEVEL AREAS.

COMPACT BACKFILL TO 95% OF MAXIMUM DENSITY AT 2% BELOW AND 3% ABOVE OPTIMUM MOISTURE CONTENT AS DETERMINED BY STANDARD PROCTOR TEST (ASTM D-698). COMPACT TO 100% OF MAXIMUM DENSITY WITHIN I 8 OF SUBGRADE.

C. LAYERING AND COMPACTING:

MAINTAIN OPTIMUM MOISTURE CONTENT OF BACKFILL MATERIAL'S TO ATTAIN REQUIRED COMPACTION DENSITY. SPREAD FILL OVER AREA SHOWN ON STRUCTURAL DRAWINGS IN UNIFORM LAYERS, MAXIMUM LOOSE DEPTH OF 8 INCHES, COMPACT AS DIRECTED ON THE STRUCTURAL DRAWINGS.

D. GRANULAR FILL/SAND CUSHION: SPREAD AND COMPACT TO REQUIREMENTS SHOWN ON

THE DRAWINGS

3.07 TESTING A. EMPLOY AND PAY FOR, AS PART OF CONTRACT PRICE, THE SERVICES OF AN OWNER ACCEPTABLE INDEPENDENT TESTING LABORATORY TO TEST FILL AND BACKFILL MATERIAL'S AND THEIR DEGREE OF COMPACTION IN PLACE, AND THE OPTIMUM MOISTURE CONTENT OF BOTH ON-SITE AND PROPOSED BORROW PRIOR TO PLACING AND COMPACTING. PERFORM NOT LESS THAN ONE COMPACTION TEST FOR EACH 3,000 SQ FT OF SURFACE FOR EACH LAYER OF FILL UNDER BUILDING, AND NOT LESS THAN ONE COMPACTION TEST FOR EACH 5,000 SQ. FT. OF SURFACE FOR EACH LAYER

3.08 CLEAN-UP A. UPON COMPLETION OF WORK OF THIS SECTION, REMOVE RELATED DEBRIS FROM THE PREMISES.

OF FILL OR UN-DISTURBED EARTH TO REMAIN ON AREAS

TO BE COVERED BY PAVING OR WALKS, ASTM

END OF SECTION EXCAVATING, BACKFILLING, AND COMPACTING FOR UTILITIES

I.OI SECTION INCLUDES

PART I - GENERAL

A. EXCAVATION FOR TRENCHES

B. DEWATERING EXCAVATIONS C. BACK LING

D. COMPACTED BED AND COMPACTED FILL 1.02 RELATED SECTIONS

STRUCTURES

A. GRADING B. EXCAVATING, BACKFILLING AND COMPACTING FOR

A. AMERICAN SOCIETY FOR TESTING MATERIALS (ASTM)

LO3REFERENCE STANDARDS

1.04 TEST REPORTS A. SUBMIT THREE COPIES TO THE OWNER

MOISTURE CONTENT, ASTM D-698.

PART II - PRODUCTS

2.01 MATERIALS FOR BACKFILLING

A. GENERAL USE: REUSED EXCAVATED OR EQUAL BORROW MATERIAL LOW EXPANSIVITY, UNIFORM IN GRADE, FREE FROM ORGANIC MATERIALS, CAPABLE OF BEING COMPACTED TO 95 PERCENT MAXIMUM DENSITY AT OPTIMUM

NATURAL RIVER OR BANK SAND, FREE AT SILT, CLAY, LOAM, FRIABLE OR SOLUBLE MATERIALS, AND ORGANIC MATTER, GRADED IN ACCORD WITH ASTM C136.

PART III - EXECUTION 3.01 INSPECTION

> A. VERIFY THAT AREAS TO BE BACKFILLED ARE FREE OF DEBRIS, SNOW, ICE, OR WATER, AND GROUND SURFACES ARE NOT FROZEN.

A. IDENTIFY REQUIRED LINES, LEVELS, CONTOURS, AND

DATUM. WHEN NECESSARY, COMPACT SUBGRADE

SURFACES TO DENSITY REQUIREMENTS FOR BACKFILL MATERIAL

3.03 PROTECTION

B. LANDSCAPE FEATURES:

PORTION OF FINAL LANDSCAPING.

3.02 PREPARATION

A. GENERAL: PROVIDE ADEQUATE SHEETING, SHORING AND BRACING

FOR EXCAVATIONS TO PREVENT CAVING OR TO

2. SHORING AND BRACING SHALL CONFORM TO THE REQUIREMENTS OF OSHA AND/OR THE AUTHORITY HAVING JURISDICTION OVER THE PROJECT. IF A CONFLICT EXISTS BETWEEN AGENCIES, THE MOST STRINGENT SHALL PREVAIL.

PROTECT EXISTING TREES, SHRUBS, LAWNS, ROCK

OUTCROPPING AND OTHER FEATURES TO REMAIN AS

PROTECT PERSONNEL, WITHOUT ADDITIONAL COST TO

C. CONSTRUCTION:

UNDERPIN ADJACENT STRUCTURES WHICH MAY BE DAMAGED BY EXCAVATION WORK, INCLUDING SERVICE UTILITIES AND PIPE CHASES.

D. UNEXPECTED CONDITIONS:

NOTIFY OWNER OF UNEXPECTED SUBSURFACE CONDITIONS AND DISCONTINUE WORK IN AFFECTED AREA UNTIL NOTIFICATION TO RESUME WORK.

E. EXCAVATIONS:

GRADE EXCAVATION TOP PERIMETER TO PREVENT SURFACE WATER RUN-OFF INTO EXCAVATION. PROTECT EXCAVATIONS BY METHODS REQUIRED TO PREVENT CAVE-IN OR LOOSE SOIL FROM FALLING INTO EXCAVATION. PROTECT BOTTOM OF EXCAVATIONS AND SOIL ADJACENT TO AND BENEATH FOUNDATIONS FROM

3.04 EXCAVATING

A. EXCAVATE SUBSOIL REQUIRED FOR PIPING AND OTHER UTILITY WORK, CUT TRENCHES SUFFICIENTLY WIDE TO ENABLE INSTALLATION OF UTILITIES AND ALLOW INSPECTION. HAND TRIM EXCAVATION AND LEAVE FREE OF LOOSE MATTER. REMOVE LUMPED SUBSOIL, BOULDERS, AND ROCK UP TO 1/3 CU YD. MEASURED B' VOLUME. CORRECT UNAUTHORIZED EXCAVATION AT NO COST TO OWNER. FILL OVER-EXCAVATED AREAS UNDER BEARING SURFACES IN ACCORD WITH DIRECTIONS OF OWNER. REMOVE EXCESS EXCAVATED MATERIAL FROM SITE.

3.05 DEWATERING

A. IF WATER CONDITION IS PRESENT, PROVIDE DEWATERING WITHOUT ADDITIONAL COST TO OWNER, INCLUDING SUMPS, PUMPS AND PUMPING AS MAY BE REQUIRED. MAINTAIN DEWATERING UNTIL BACKFILLING IS COMPLETE AND/OR WATER CONDITION NO LONGER EXISTS.

3.06 BACKFILLING AND COMPACTING

A. GENERAL: SUPPORT PIPE, CONDUIT, ETC. DURING PLACEMENT AND COMPACTION OF BEDDING FILL BACKFILL TRENCHES TO PROVIDE CONTOURS AND ELEVATIONS SHOWN ON THE DRAWINGS, USE UNFROZEN MATERIALS. BACKFILL SYSTEMATICALLY, AS EARLY AS POSSIBLE, TO ALLOW MAXIMUM TIME FOR NATURAL SETTLEMENT. DO NOT BACKFILL OVER POROUS, WET, OR SPONGY SUBGRADE

SURFACES. B. BACKFILLING:

EMPLOY PLACEMENT METHODS WHICH WILL NOT DISTURB OR DAMAGE CONSTRUCTION TO REMAIN.

C. LAYING AND COMPACTING: MAINTAIN OPTIMUM MOISTURE CONTENT OF BACKFILL MATERIALS TO ATTAIN REQUIRED COMPACTION DENSITY. PLACE FILL IN UNIFORM LAYERS, MAXIMUM LOOSE DEPTH OF 8 INCHES. COMPACT TO 95 PERCENT OF MAXIMUM DRY DENSITY AS DETERMINED BY STANDARD PROCTOR AND TO EXISTING SUBSOIL CONDITIONS FOR LANDSCAPED OR OPEN AREAS.

3.07 TESTING

A. EMPLOY AND PAY FOR AS PART OF CONTRACT PRICE. THE SERVICES OF AN OWNER ACCEPTABLE INDEPENDENT TESTING LABORATORY TO TEST FILL AND BACKFILI MATERIALS AND THEIR DEGREE OF COMPACTION IN PLACE, AND THE OPTIMUM MOISTURE CONTENT OF BOTH ON-SITE AND PROPOSED BORROW PRIOR TO PLACING AND COMPACTING, PERFORM NOT LESS THAN ONE COMPACTION TEST FOR EACH 30-FEET OF TRENCH FOR EACH LAYER OF FILL UNDER BUILDING, AND NOT LESS WAN ONE COMPACTION TEST FOR FACE SO FEET TRENCH FOR EACH LAYER OF FILL OR UNDISTURBED EARTH TO REMAIN ON AREAS OF SITE TO BE COVERED BY PAVING, ASTM DI556.

3.08 CLEAN-UP A. UPON COMPLETION OF WORK OF THIS SECTION, REMOVE

END OF SECTION ROCK REMOVAL

PART I - GENERA

RELATED DEBRIS FROM THE PREMISES.

I.OI SECTION INCLUDES A. REMOVAL OF ROCK DURING EXCAVATION

B. EXPANSIVE TOOLS OR EXPLOSIVES TO ASSIST ROCK REMOVAL

SHOVEL.

MORE.

1 .03 REFERENCES

A. NFPA 495 - CODE FOR EXPLOSIVE MATERIALS. B. OSHA

1 .04 DEFINITIONS A. ROCK SOLID MINERAL MATERIAL OF A SIZE THAT CANNOT BE

REMOVED WITH A I /3 CU YD CAPACITY POWER

B. MASSIVE ROCK EXCAVATION

C. TRENCH EXCAVATION

SOLID MINERAL MATERIAL WHICH CANNOT BE EXCAVATED WITH A SINGLE TOOTH RIPPER DRAWN BY A CRAWLER TRACTOR HAVING A MINIMUM FLYWHEEL POWER RATED AT NOT LESS THAN 285 HORSEPOWER (CATERPILLAR D-8N OR EQUIVALENT) AND OCCUPYING AN ORIGINAL VOLUME OF AT LEAST ONE CUBIC YARD OR

MATERIALS THAT CANNOT BE EXCAVATED WITH A

CATERPILLAR 325 AND OCCUPYING AN ORIGINAL VOLUME OF ONE-HALF CUBIC YARD.

1.05 SUBMITTALS

A. SHOP DRAWINGS: INDICATE THE PROPOSED METHOD OF BLASTING, DELAY PATTERN, EXPLOSIVE TYPES, TYPE OF BLASTING MAT OR COVER, AND INTENDED ROCK REMOVAL METHOD. SHOP DRAWINGS ARE SUBMITTED FOR OWNER INFORMATION. APPROVAL MUST BE OBTAINED FROM AUTHORITIES

HAVING JURISDICTION, THE SEISMIC SURVEY ENGINEER.

1.06 QUALIFICATIONS

A. SEISMIC SURVEY FIRM:

DOCUMENTED EXPERIENCE.

COMPANY SPECIALIZING IN SEISMIC SURVEYS WITH FIVE YEARS DOCUMENTED EXPERIENCE, B. EXPLOSIVES FIRM:

COMPANY SPECIALIZING IN EXPLOSIVES FOR

DISINTEGRATION OF ROCK, WITH FIVE YEARS

AND THE FIRM PERFORMING THE BLASTING.

1.07 REGULATORY REQUIREMENTS

A, CONFORM TO APPLICABLE CODES FOR EXPLOSIVE DISINTEGRATION OF ROCK, TO NFPA 495 FOR HANDLING EXPLOSIVE MATERIALS, AND ALL APPLICABLE OSHA

B. OBTAIN PERMITS FROM AUTHORITIES HAVING JURISDICTION BEFORE EXPLOSIVES ARE BROUGHT TO SITE OR DRILLING IS STARTED.

1.08 SCHEDULING

A. SCHEDULE WORK TO AVOID WORKING HOURS OF OR

DISRUPTION TO OCCUPIED BUILDINGS NEARBY. PART II - PRODUCTS

2.01 MATERIALS

A. EXPLOSIVES: TYPE RECOMMENDED BY EXPLOSIVE FIRM FOLLOWING SEISMIC SURVEY AND REQUIRED BY AUTHORITIES HAVING JURISDICTION.

B. DELAY DEVICE

TYPE RECOMMENDED BY EXPLOSIVE FIRM.

C. BLAST MAT MATERIALS:

D. MECHANICAL DISINTEGRATION COMPOUNDS:

TYPE RECOMMENDED BY EXPLOSIVES FIRM.

GROUT MIX OF MATERIALS THAT EXPAND ON CURING PART III - EXECUTION

3.OIEXAMINATION

IRREGULARITIES AFFECTING WORK OF THIS SECTION. 3.02 PREPARATION

A. VERIFY SITE CONDITIONS AND NOT SUBSURFACE

A. IDENTIFY REQUIRED LINES, LEVELS, CONTOURS, AND

3.03 ROCK REMOVAL - MECHANICAL METHOD A. EXCAVATE AND REMOVE ROCK BY THE MECHANICAL METHOD. DRILL HOLES AND UTILIZE EXPANSIVE TOOLS WEDGES, OR MECHANICAL DISINTEGRATION COMPOUND TO

FORM LEVEL BEARING. C. REMOVE SHALED LAYERS TO PROVIDE SOUND AND UNSHATTERED BASE FOR FOOTINGS, FOUNDATIONS,

D. IN UTILITY TRENCHES, EXCAVATE TO 6 INCHES BELOW

B. CUT AWAY ROCK AT BOTTOM OF EXCAVATION TO

INVERT ELEVATION OF PIPE AND 24 INCHES WIDER THAN PIPE DIAMETER.

E. REMOVE EXCAVATED MATERIALS FROM SITE.

F. CORRECT UNAUTHORIZED ROCK REMOVAL IN

PAVING, AND RETAINING WALLS

AND SEISMIC OPERATIONS.

ACCORDANCE WITH BACKFILLING AND COMPACTING REQUIREMENTS SPECIFIED IN THE GEOTECHNICAL REPORT. 3.04 ROCK REMOVAL - EXPLOSIVE METHOD A. CONDUCT SURVEY AND DOCUMENT CONDITIONS OF

BUILDINGS NEAR LOCATIONS OF ROCK REMOVAL AND

PRIOR TO BLASTING, PHOTOGRAPH EXISTING CONDITIONS IDENTIFYING EXISTING IRREGULARITIES B. ADVISE OWNERS OF ADJACENT BUILDINGS OR STRUCTURES IN WRITING, PRIOR TO EXECUTING

SEISMOGRAPHIC SURVEY. EXPLAIN PLANNED BLASTING

C. OBTAIN SEISMIC SURVEY PRIOR TO ROCK EXCAVATION

TO DETERMINE MAXIMUM CHARGES THAT CAN BE USED AT DIFFERENT LOCATIONS IN AREA OF EXCAVATION WITHOUT DAMAGING ADJACENT PROPERTIES OR OTHER

D. PROVIDE SEISMOGRAPHIC MONITORING DURING PROGRESS OF BLASTING OPERATIONS. E. DISINTEGRATE ROCK AND REMOVE FROM EXCAVATION,

LEVEL BEARING. G. REMOVE SHALED LAYERS TO PROVIDE A SOUND AND

F. REMOVE ROCK AT EXCAVATION BOTTOM TO FORM

H. IN UTILITY TRENCHES, EXCAVATE TO 6 INCHES BELOW INVERT ELEVATION OF PIPE AND 24 INCHES WIDER THAN

UNSHATTERED BASE.

3.05 FIELD QUALITY CONTROL

ACCORDANCE WITH BACKFILLING AND COMPACTING REQUIREMENTS SPECIFIED IN GEOTECHNICAL REPORT.

A. FIELD INSPECTION AND TESTING WILL BE PERFORMED

UNDER GENERAL PROVISIONS OF THE CONTRACT,

A. UPON COMPLETION OF THE WORK OF THIS SECTION.

REMOVE RELATED DEBRIS FROM PREMISES.

END OF SECTION

REMOVE EXCAVATED MATERIAL FROM SITE.

J. CORRECT UNAUTHORIZED ROCK REMOVAL IN

B. PROVIDE FOR VISUAL INSPECTION OF FOUNDATION BEARING SURFACES AND CAVITIES FORMED BY REMOVED

3.06 CLEAN - UP

NO. 31358 PROFESSIONAL

PLANS PREPARED BY:

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CHECKED BY: DRAWING BY:

SITEWORK

COMMENTS:

TWC

FSE

04/16/14

CONCRETE PAVING, WALKS, CURBS, GUTTERS, AND APPROACHES PART I - GENERAL I.OI SECTION INCLUDES CONCRETE PEDESTRIAN TRAFFIC SURFACES (WALKS, RAMPS, ETC.) CONCRETE VEHICULAR TRAFFIC SURFACES CONCRETE CURBS AND GUTTERS CONCRETE TRAFFIC APPROACHES AS SHOWN ON DUMPSTER PADS REFERENCE PUBLICATIONS AND STANDARDS GOVERNING AUTHORITY: APPLICABLE STANDARDS AND REGULATIONS OF STATE APPLICABLE STANDARDS AND REGULATIONS OF STATE AND MUNICIPAL AGENCIES HAVING GOVERNING AUTHORITY OVER THE WORK SPECIFIED IN THIS SECTION SHALL TAKE PRIORITY OVER ITEMS SPECIFIED HEREIN AND SHOWN ON THE DRAWINGS UNLESS THE REQUIREMENTS SET FORTH HEREIN REQUIRE A SUPERIOR QUALITY WORK. MATERIAL STANDARDS: AMERICAN SOCIETY FOR TESTING MATERIALS (ASTM) CONCRETE STANDARDS: AMERICAN CONCRETE INSTITUTE (ACI): ACI-617
"STANDARD SPECIFICATIONS FOR CONCRETE PAVEMENT
AND BASES" ACI-395 "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE" SUBMITTALS TESTING LABORATORY REPORTS: FURNISH THREE COPIES OF THE TEST REPORTS TO THE OWNER INDICATING RESULTS OF THE CYLINDER PART II - PRODUCTS FORM MATERIAL A. AS SPECIFIED IN CONCRETE FORMWORK. 2.02 BASIC MATERIALS A. CONCRETE: AS SPECIFIED IN CAST-IN-PLACE CONCRETE REINFORCING STEEL: AS SPECIFIED IN CONCRETE REINFORCEMENT 2.03 MISCELLANEOUS MATERIALS AIR ENTRAINING AGENT: ASTM CO260, MASTER BUILDERS OR EQUAL DISPERSING ADMIXTURE: ASTM C-494, MASTER BUILDERS OR EQUAL. C. CURING COMPOUND: ASTM C-309, NO. 40W BY A. C. HORN COMPANY OR JOINT FILLER: ASTM DI751, PRE-MOLDED FIBER FILLER, UNLESS SHOWN OTHERWISE ON THE DRAWINGS. E. JOINT SEALER: ASTM D-1190, CODE 2351. CONCRETE MIX DESIGN CONTRACTOR SHALL EMPLOY AND PAY FOR, AS A PART OF THE CONTRACT PRICE, THE SERVICES OF AN OWNER APPROVED INDEPENDENT TESTING LABORATORY TO DETERMINE ACTUAL DESIGN MIX TO BE USED, BASED ON THE FOLLOWING:
ALL CONCRETE PAVED VEHICULAR USE AREAS:
5000 PSI AT 28 DAYS.
2. ALL CONCRETE SIDEWALK AND CURB & GUTTER:
4000 PSI AT 28 DAYS. PART III - EXECUTION 3.01 INSPECTION OF SUBGRADE INSPECT SUBGRADES PREPARED AS SPECIFIED ELSEWHERE IN THESE SPECIFICATIONS AND REPORT ANY DEFICIENCIES TO THE OWNER BEFORE BEGINNING WORK. COMMENCEMENT OF WORK SHALL INDICATE ACCEPTAGE OF SUBGRADES BY THIS 3.02 CONSTRUCTION A. GENERAL: DELIVER AND PLACE CONCRETE AS SPECIFIED IN CAST-IN-PLACE CONCRETE. B. CURBS AND GUTTERS: I. CONFIGURATIONS CONSTRUCT TO CROSS-SECTIONAL DETAILS SHOWN ON DRAWINGS AND AT INDICATED LOCATIONS. CURBS MAY BE FULLY FORMED OR PULLED AND TROWELED TO CONFIGURATIONS SHOWN ON THE DRAWINGS. 2. REINFORCEMENT REINFORCE AS INDICATED ON THE DRAWINGS WITH CONTINUOUS REINFORCING BARS LAPPED 30 BAR DIAMETERS AND SECURELY TIED AT ALL SPLICES. METAL CHAIRS SHALL BE USED TO HOLD THE REINFORCING STEEL IN THE PROPER PLANE. 3, EXPANSION JOINTS CONSTRUCT 1/2" WIDE EXPANSION JOINTS WITH JOINT FILLER ACROSS LENGTHS OF CURB AT ALL TANGENT POINTS AND AT NOT MORE THAN TWENTY FOOT INTERVALS. CONSTRUCT ONE INCH WIDE INTERVALS.

JOINTS WITH JOINT FILLER BETWEEN CURBS AND CONCRETE PAVING, ALL FIXED OBJECTS, SUCH AS BUILDINGS, POLES, PIPES. CATCH BASINS, ETC., WITHIN OR ABUTTING THE CONCRETE SHALL BE SEPARATED FROM THE CONCRETE BY EXPANSION JOINTS.

FINISH SURFACES WITH DENSE UNIFORM TEXTURE EQUAL TO BURLAP DRAG AND CROSS-SCORE WITH 1/4" DEEP CROSS JOINTS AT TEN FOOT INTERVALS WITH

4. FINISHING

5. JOINTS 3.04

FILL EXPANSION JOINTS WITH JOINT FILLER EXCEPT FOR SPACE 3/4" DEEP AT SURFACE. AFTER CONCRETE HAS SET, CLEAN THE OPEN JOINT ABOVE FILLER AND FILL WITH JOINT SEALER IN ACCORDANCE WITH INSTRUCTIONS TRAFFIC APPROACHES, VEHICULAR TRAFFIC SURFACES, AND DUMPSTER PADS: CONFIGURATION CONSTRUCT TO CROSS-SECTIONAL DETAILS SHOWN ON DRAWINGS AND AT INDICATED LOCATIONS. REINFORCEMENT REINFORCE WITH #4 MINIMUM SIZE REINFORCING BARS 18 INCHES ON CENTER BOTH WAYS. UNLESS OTHERWISE INDICATED OR NOTED ON THE DRAWINGS. 3. EXPANSION AND CONSTRUCTION JOINTS AT INTENTIONAL POINTS FOR STOPPAGE OF CONCRETE PLACING, USE EXPANSION JOINTS. AT UNINTENTIONAL POINTS OF STOPPAGE OF CONCRETE PLACING, USE POINTS OF STOPPAGE OF CONCRETE PLACING. USE CONTINUATION OF REINFORCING THROUGH JOINTS. CONSTRUCT 1/2 INCH WIDE EXPANSION JOINTS WITH JOINT FILLER AT LOCATIONS SHOWN ON THE DRAWINGS OR AT NOT MORE THAN FIFTEEN FOOT INTERVALS EACH WAY IF NOT SHOWN. CONSTRUCT 1/2 INCH WIDE EXPANSION JOINTS WITH JOINT FILLER BETWEEN CURBS AND CONCRETE PAVING. ALL FIXED OBJECTS, SUCH AS BUILDINGS, POLES, PIPES, CATCH BASINS, ETC., WITHIN OR ABUTTING THE CONCRETE SHALL BE SEPARATED FROM THE CONCRETE BY EXPANSION JOINTS. 4. JOINT FILLING AND SEALING FILL EXPANSION JOINTS WITH JOINT FILLER EXCEPT FOR SPACE 3/4' DEEP AT SURFACE. AFTER CONCRETE HAS SET, CLEAN THE OPEN JOINT ABOVE FILLER AND FILL WITH JOINT SEALER IN ACCORDANCE WITH INSTRUCTIONS OF SEALER MANUFACTURER. 5. FINISHING VIBRATE, SCREED AND FLOAT CONCRETE TO LEVEL AND TEST THE SURFACE, WHICH SHALL NOT VARY OVER 1/4' IN TEN FEET WHEN TESTED WITH TEN FOOT STRAIGHT EDGE. FINISH SURFACE TO GRITTY TEXTURE WITH BURLAP DRAG OR STRAIGHT CONTINUOUS STROKES WITH A STIFF BRISTLE PUSH BROOM. FINISH ALL EDGES SMOOTH WITH 1/8' OR 1/4' RADIUS. WALKS REFER TO ARCHITECTURAL SPECS/DRAWINGS. CURING CONCRETE APPLY A WHITE-PIGMENTED TYPE CURING COMPOUND AT A UNIFORM RATE OF APPROXIMATELY 200 SQ. FT./GALLON, OR AS RECOMMENDED BY CURING COMPOUND MANUFACTURER AS SOON AS FINISHING OPERATION HAS BEEN COMPLETED AND THE CONCRETE HAS LOST ITS WATER SHEEN. THE CURING PROCEDURE MUST PROTECT THE CONCRETE, INCLUDING ALL EXPOSED SURFACES AGAINST LOSS OF MOISTURE AND RAPID TEMPERATURE CHANGE FOR A PERIOD OF NOT LESS THAN FOUR DAYS FROM THE BEGINNING OF THE CURING OPERATION AND WITHOUT DAMAGE TO, OR MARKING OF THE FINISHED CONCRETE SURFACE. TRAFFIC SHALL NOT BE ALLOWED ON FINISHED CONCRETE FOR A MINIMUM PERIOD OF SIEVEN DAYS. FT./GALLON, OR AS RECOMMENDED BY CURING TESTING INDEPENDENT TESTING LABORATORY:

CONTRACTOR SHALL EMPLOY AND PAY FOR, AS A PART OF THE CONTRACT PRICE, THE SERVICES OF AN OWNER- APPROVED INDEPENDENT TESTING LABORATORY TO PERFORM CONCRETE C'LINDER TESTING, TEST CYLINDERS SHALL BE TAKEN AND CURED BY THE CONTRACTOR AND TESTED BY THE TESTING LABORATORY FOR EACH DIFFERENT CLASS OF CONCRETE POURED IN ANY ONE DAY, CYLINDERS SHALL BE TAKEN IN ACCORDANICE WITH ASTM C31, AND CURED AND TESTED IN ACCORDANICE WITH ASTM C39. ONE SET OF THREE CYLINDER'S IS REQUIRED FOR EACH 50 CUBIC YARDS OF CONCRETE OR LESS, PLACED IN ANY ONE DAY, ONE CYLINDER SHALL BE TESTED AT 7 DAYS, ONE CYLINDER SHALL BE TESTED AT 28 DAYS AND ONE CYLINDER SHALL BE HELD AS A SPARE FROM EACH SET OF THREE CYLINDERS AS SPECIFIED ABOVE.

CONTRACTOR TESTS: I. SLUMP TESTS SLUMP TESTS SHALL BE TAKEN BY THE CONTRACTOR WHEN CYLINDERS ARE TAKEN, AND SHALL SHOW MAXIMUM SLUMP 5" AND MINIMUM SLUMP 3".

2. AIR ENTRAINMENT AIR CONTENT BY VOLUME: 4% TO 6% BASED ON MEASUREMENTS MADE IN CONCRETE MIXTURES AT POINT OF DISCHARGE AT JOB SITE AT TIME SLUMP TESTS ARE MADE. AIR CONTENT BY VOLUME SHALL BE DETERMINED IN ACCORD WITH ASTM C231.

CLEANING CONCRETE CONCRETE APPROACHES, SIDEWALKS AND RELATED WORK SHALL BE HOSED DOWN WITH WATER, SCRUBBED WITH FIBER BRUSHES, ALLOWED TO DRY AND BE LEFT BROOM CLEAN AND IN CONDITION ACCEPTABLE TO THE OWNER.

CLEAN-UP

UPON COMPLETION OF WORK OF THIS SECTION REMOVE RELATED DEBRIS FROM PREMISES. END OF SECTION

ASPHALTIC CONCRETE PAVING PART I - GENERAL

I.OI SECTION INCLUDES

A. PAVING BASE B. BASE COURSE AND SURFACE COURSE

REFERENCE STANDARDS AMERICAN ASSOCIATION OF STATE HIGHWAY TRANSPORTATION

OFFICIALS (AASHTO)

AMERICAN SOCIETY FOR TESTING MATERIALS (ASTM)

GOVERNING AUTHORITY: APPLICABLE PUBLICATIONS OF GOVERNING BODIES HAVING JURISDICTION OVER THE WORK AL DOT 'STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURE' 1991. SECTIONS 400 PAGE 251 FOR TYPE F OR TYPE H FOR SURFACE COURSE MIX, AND SECTION 400 FOR TYPE B-MODIFIED

APPLICABLE STANDARDS AND REGULATIONS OF STATE AND MUNICIPAL AGENCIES HAVING GOVERNING AUTHORITY OVER THE WORK SPECIFIED IN THIS SECTION SHALL TAKE PRIORITY OVER ITEMS SPECIFIED HEREIN AND SHOWN ON THE DRAWINGS UNLESS THE REQUIREMENTS SET FORTH HEREIN REQUIRE A SUPERIOR OLD LITY WORK. QUALITY WORK.

I.O3 SUBMITTALS

A. SUBMIT THREE COPIES OF DESIGN MIX TEST REPORTS TO OWNER. PART II - PRODUCTS

2.01 MATERIALS

A. SUB-BASE:

ONLY IF SHOWN ON THE SITE PLAN DRAWINGS AND SPECIFIED IN OTHER SECTIONS OF THESE SPECIFICATIONS

B. BASE COURSE (BINDER):

DETERMINED BY "DESIGN MIX"

UNLESS OTHERWISE SHOWN ON THE DRAWINGS, UNIFORM MIX OF COARSE AGGREGATE AND ASPHALT AS DETERMINED BY 'DESIGN

C. SURFACE COURSE: UNLESS OTHERWISE SHOWN ON THE DRAWINGS, UNIFORM MIX OF COARSE AGGREGATE AND FINE AGGREGATE (PEA GRAVEL WILL NOT BE ACCEPTABLE), MINERAL FILLER AND ASPHALT AS

DESIGN MIXES: CONTRACTOR SHALL EMPLOY AND PAY FOR THE SERVICES OF AN OWNER- APPROVED INDEPENDENT TESTING LABORATORY TO DETERMINE DESIGN MIXES FOR BASE AND SURFACE COURSES, INCLUDING ASPHALT BITUMEN CONTENT, ASTM D2172, LATEST EDITION, ENTITLED, "QUANTITIES"

PART III - EXECUTION

GRADE CONTROL

ESTABLISH AND MAINTAIN LINES AND GRADES SHOWN ON DRAWINGS BY MEANS OF LINE AND GRADE STAKES.

3.02 TRANSPORTATION

TRANSPORT PAVING MIXES FROM APPROVED MIXING PLANT TO SITE IN TIGHT VEHICLES WITH METAL BOTTOMS PREVIOUSLY CLEANED OF FOREIGN MATERIALS. VEHICLES SHALL BE SUITABLY INSULATED TO AVOID HEAT LOSSES. COVER EACH LOAD TO PREVENT COOLING AND LOSS OF INGREDIENTS.

3.03 PLACING

A. GENERAL: THICKNESS SHOWN ON SITE DRAWINGS. UNLESS OTHERWISE SHOWN ON THE DRAWINGS, PLACE ASPHALTIC CONCRETE IN TWO COURSES, FIRST A COARSE GRADED BASE COURSE, AND SECOND A FINE GRADED SURFACE COURSE. APPLY BASE COURSE TO PREPARED SUB-BASE (WHEN APPLICABLE) WHICH HAS BEEN PRIMED WITH ASPHALT MC-I, APPLICATION TEMPERATURE 50 TO 120 DEGREES F, AT A RATE OF 0.15 TO 0.40 GAL/SQ YD. APPLY SURFACE COURSE TO BASE COURSE TO WHICH HAS BEEN APPLIED A TACK COAT OF ASPHALT RC-2, APPLICATION TEMPERATURE 100 TO 175 DEGREES F, AT RATE OF 0.05 TO 0.25 GAL/SQ YD. PLACE EACH COURSE UNDER TEMPERATURE CONDITIONS OF 40 TO 90 DEGREES F.

MEANS: DUMP AND SPREAD MIXTURE ON PRIMED BASE WITH SPREADING AND FINISHING MACHINE, SO THAT AFTER COMPACTION, SURFACE WILL BE SMOOTH, OF UNIFORM DENSITY AND MEETS REQUIREMENTS FOR TYPICAL CROSS-SECTION SHOWN. OTHER PLACING MEANS MAY

BE PROPOSED. C. TIME AND TEMPERATURE:

PLACE AND INITIALLY ROLL DURING DAYLIGHT HOURS. MIXTURE PLACING TEMPERATURE, BETWEEN 225 AND 325 DEGREES F.

D. PROTECTION OF CURBS AND GUTTERS:

PREVENT SPLATTERING OF ADJACENT CURBS, GUTTER, CONCRETE PAVING AND STRUCTURES. HAND SPREADING MAY BE EMPLOYED WHERE MACHINE IS IMPRACTICAL.

E. FINISH GRADES:

APPROXIMATELY 6 INCHES BELOW ADJACENT CONCRETE SIDEWALKS, AND/OR CURBS, EXCEPT AS SPECIFICALLY SHOWN OTHERWISE ON THE DRAWINGS, TRUE TO GRADES SHOWN AND STRAIGHT WITHIN 1/4 INCH IN 10 FEET WHEN CHECKED WITH A STRAIGHT EDGE. NO 'BIRD BATHS' WILL BE ALLOWED.

ROLLING 3.04

A. GENERAL: AFTER ROLLING WITH MEDIUM WEIGHT STEEL-WHEELED ROLLER, ROLL WITH PNEUMATIC, THREE WHEEL, OR TANDEM ROLLERS LONGITUDINALLY AT SIDES AND PROCEED TOWARD CENTER OF PAVEMENT, OVERLAPPING ON SUCCESSIVE TRIPS BY AT LEAST HALF WIDTH OF REAR WHEELS. ALTERNATE TRIPS OF ROLLER SHALL BE SLIGHTLY DIFFERENT IN LENGTH.

B. COMPRESSION AND ROLLER MARKS:

ROLL UNTIL NO FURTHER COMPRESSION CAN BE OBTAINED AND ROLLER MARKS ARE ELIMINATED, IF REQUIRED, ROLL DIAGONALLY IN EACH DIRECTION WITH TANDEM ROLLER WITH SECOND DIAGONAL ROLLING CROSSING LINE OF FIRST ROLLING. PREVENTION OF MIXTURE ADHESION TO ROLLER:

KEEP WHEELS MOISTENED WITH WATER, EXCESSIVE USE OF WATER WILL NOT BE PERMITTED. DO NOT PERMIT ROLLERS TO STAND ON PAVEMENT WHICH HAS NOT BEEN FULLY COMPACTED AND WHICH HAS NOT COOLED TO ATMOSPHERIC TEMPLED AT LIDE DISPLACEMENT KEEP MOVEMENT OF ROLLER SLOW ENOUGH TO AVOID DISPLACEMENT OF MIXTURE. CORRECT ANY DISPLACEMENT AT ONCE BY USE OF RAKES AND ADDITION OF FRESH MIXTURE.

PREVENT DROPPING OF OIL, GASOLINE AND GREASE ON

HAND OPERATIONS: THOROUGHLY COMPACT EDGES OF PAVEMENT ALONG CURBS, HEADERS, APRONS, MANHOLES, VALVE BOXES AND SIMILAR PLACES NOT ACCESSIBLE TO ROLLER WITH LIGHTLY OILED HAND-OPERATED VIBRATING ROLLERS OR MECHANICAL TAMPERS.

3.05 SPECIAL TESTING

PRECAUTIONS:

THE FOLLOWING TESTS SHALL BE PERFORMED AT NO ADDITIONAL EXPENSE IF REQUESTED BY THE OWNER.

A. EXTRACTION AND GRADATION TEST: ASTM D2172 FOR EACH TYPE, NUMBER AND LOCATION TO BE DETERMINED ON THE JOB BY THE OWNER.

B. FIELD-IN-PLACE DENSITY TEST:

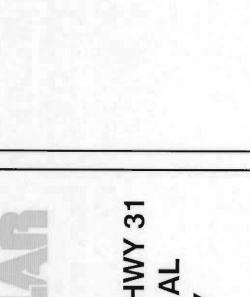
C. THICKNESS TEST:

ASTM DI88 FOR EACH TYPE. NUMBER AND LOCATION TO BE DETERMINED ON THE JOB BY THE OWNER. DETERMINE BY TEST BORINGS. MAKE ONE TEST FOR EACH 5,000 SQ FT OF PAVING SURFACE, IF AVERAGE THICKNESS IS DEFICIENT BY NO MORE THAN 1/4 INCH, AND NO INDIVIDUAL THICKNESS IS DEFICIENT BY MORE THAN 5/8 INCH, INSTALLATION WILL BE HELD TO MEET REQUIREMENTS. IF AVERAGE THICKNESS IS DEFICIENT BY MORE THAN 1/4 INCH, OR IF ANY INDIVIDUAL THICKNESS DETERMINATION IS DEFICIENT BY MORE THAN 5/8 INCH, PAVEMENT THICKNESS WILL BE HELD TO NOT MEET REQUIREMENTS. DEFICIENT AREAS SHALL BE DEFINED, REMOVED AND REPLACED, OR ADJUSTED TO DESIGN THICKNESS BY METHODS ACCEPTABLE TO THE OWNER. 3.06 CLEAN-UP

UPON COMPLETION OF WORK OF THIS SECTION, REMOVE RELATED DEBRIS FROM PREMISES. END OF SECTION

PLANS PREPARED BY: ENGINEERING & ASSOCIATES, IN Civil Engineering and Land Plannin 31 Boland Cour Greenville, SC 2961 (864) 335-4090 Fax: (864) 335-409.





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DRAWING BY: FSE DATE: 04/16/14

JOB NUMBER:

SITEWORK SPECIFICATIONS

SHEET NUMBER: